



New Home Construction Application

Please complete the attached Architectural Application for New Home Construction. Please send all information with deposits and fees.

Requirements for submittal for new home construction:

Two sets of professionally drawn plans and specifications for all proposed construction (initial or alterations) to be on such Lot.

Engineer's certificate on foundation plan design.

Plot plans showing the location and elevation of the improvements on the Lot and dimensions of all proposed Walk ways, driveways and all other matters relevant to architectural approval.

I (agent or builder) Jeremy Baxter request the issuance of a building permit to construct the improvements described in the attached plans and specifications. By signing this letter I certify that I have a copy of the **DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS (CCR'S)** for the Hidden Shores at Lake Cisco Property Owners Association and that I have read and familiarized myself with those Documents. Further, I certify that the house and site design has been developed with the full knowledge of and adherence to the CCR's and that construction and jobsite conduct will proceed accordingly.

As agent or builder, I authorize the designated personnel of the Hidden Shores at Lake Cisco Property Owners Association to inspect the above described property and improvements. As agent or principle, I indemnify and hold harmless the Property Owners Association and their designees against any and all claims or loss except that of willful misdeed or gross negligence. In the event that an item of construction does not satisfy the requirements of the Hidden Shores at Lake Cisco Property Owners Association. CCR's, repair, replacement and/or augmentation of that item will be performed until that item does satisfy the requirements of Hidden Shores at Lake Cisco, LLC.

Per each application of a new home construction, a fee of two hundred and fifty dollars, \$250.00 is required. Please make check payable to Hidden Shores at Lake Cisco Property Owners Association. All maintenance and inspection fees will be paid before a Statement of Completion will be issued. Issuance of a Statement of Completion does not release the builder from any of the liability normally associated with construction and does not limit in any way the implied or actual warranties or liabilities that the builder is normally obligated.

Plans Submitted: Yes () No () Date Submitted: _____

Plot Plan Submitted: Yes () No () Date Submitted: _____

LOCATION:

Lot: 59 Blk: _____ Addition/Tract _____

Physical Address: _____

CONTRACTOR/OWNER

Owner Name: Denise + Travis White Phone: _____

Brokerage Company: _____ Phone: _____

Brokerage Address: _____

Description of Home

Style: Rock house with wood frame

Number of Bedrooms: 5 Number of Baths: 5.5

Total Finished Area: 4008 Unfinished Area (SQ.FT. & Location) 713

Garage Area: 1107 Number of Garage Stalls 2

PRICE RANGE

Sales Price: \$550,000

CONSTRUCTION SCHEDULE

Proposed Construction Start Date: Feb 2021

Proposed Construction Completion Date: Feb 2022

COLOR SELECTION: Use this form for exterior color selection approval process. Please attach color swatch and deliver to our office.

Body: Shoji white w/ Austin Stone Trim: Charcoal gray Door: Charcoal gray

Paint Manufacture: Sherwin Williams

CERTIFICATION

I (we) certify that the above information provided, constitutes a description of the proposed building, items of construction, location and site will be in accordance with the Hidden Shores at Lake Cisco Property Owners' Association DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS set forth in Hidden Shores at Lake Cisco Subdivision. I (we) further certify that the work will be completed in a timely, workmanlike manner and that the building site and adjacent areas will be free of litter and debris during construction.

Owner: Denise + Travis White

Builder: J. Baxter Construction

Date: _____

Hidden Shores at Lake Cisco Architectural Review Board Signatures:

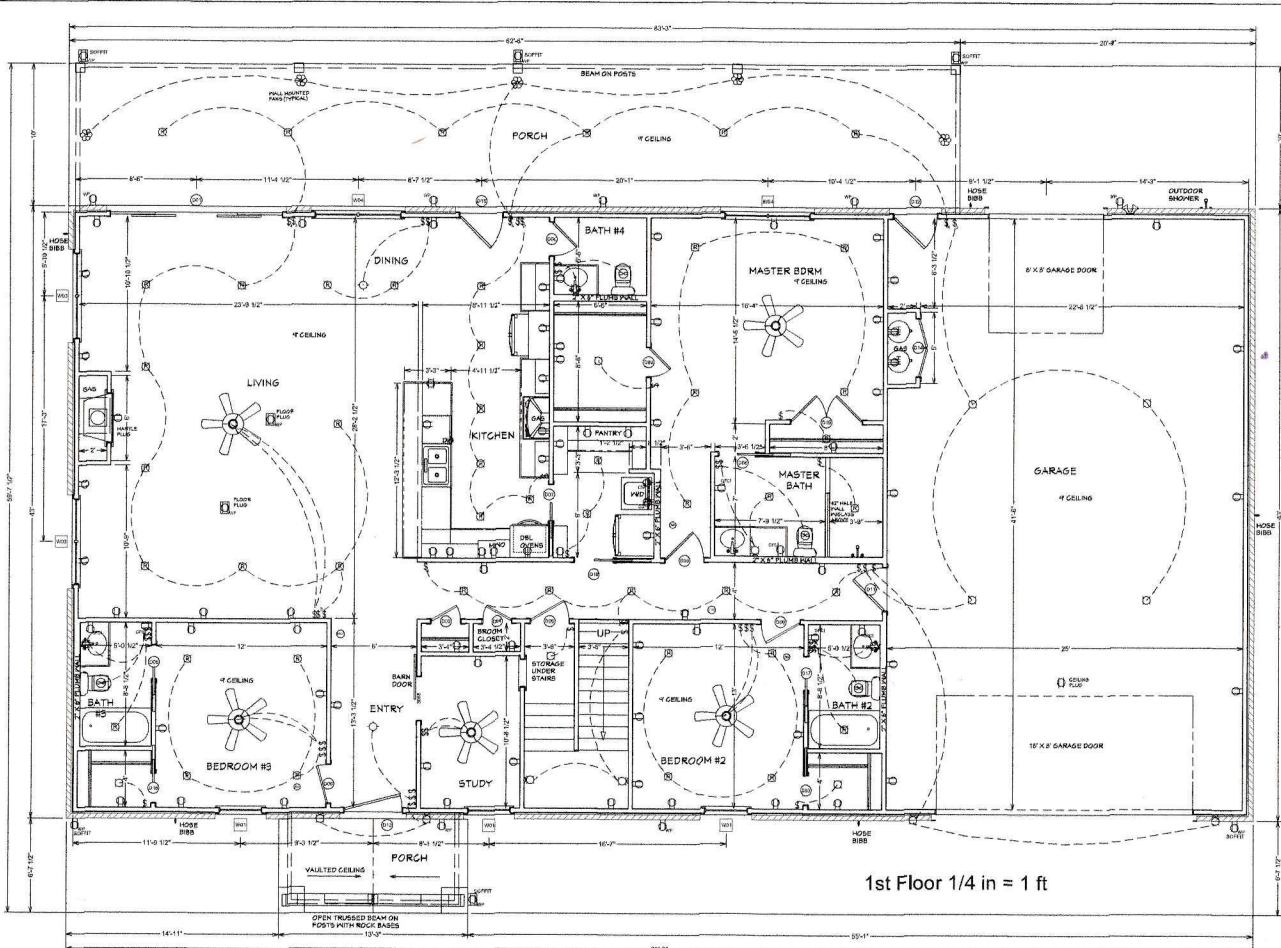
_____ Date: _____

_____ Date: _____

_____ Date: _____

Approved/Approved as noted: Date:

Rejected as noted: Date:



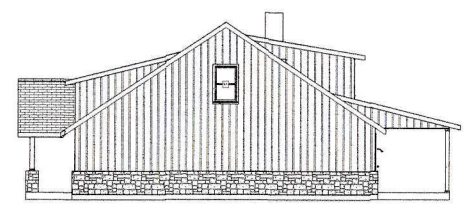
DOOR SCHEDULE				
DOOR	TYPE	FINISH	COMMENTS	QTY
D01	1208 LUR EX	GLAZED SLIDER	GLASS	1
D02	2063 L IN	HINGED		2
D03	2063 R IN	HINGED		2
D04	2063 R IN	HINGED		2
D05	2063 R IN	HINGED		2
D06	2063 L IN	HINGED		2
D07	2063 R	POCKET		1
D08	2063 R	POCKET		1
D09	2063 L IN	HINGED		1
D10	2063 R	POCKET		1
D11	3068 L EX	HINGED	FIRE-RATED	1
D12	3068 R EX	HINGED	GLASS	1
D13	4062 L EX	HINGED	FRONT ENTRY	1
D14	4062 L IN	DOUBLE HINGED		1
D15	4062 L IN	DOUBLE HINGED		1
D16	2068 R	POCKET		1
D17	2068 R	POCKET		1
D18	3068 R EX	HINGED	GLASS	1

WINDOW SCHEDULE			
WINDOW	TYPE	FINISH	COMMENTS
WB1	1208 LUR EX	GLASS	
WB2	1	6560 45°	TRIPLE
WB3	2	6560 54°	TWIN
WB4	2	6560 55°	TWIN
WB5	1	6033 15°	TRIPLE

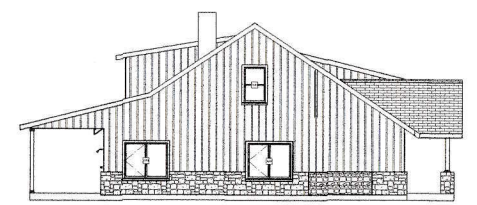
- NOTES:
1. 9" PLATES FIRST FLOOR; 8" PLATES SECOND FLOOR; EXCEPT WHERE OTHERWISE NOTED.
 2. HVAC IN ATTIC. WATER HEATING SYSTEM AS DESIGNED BY OTHERS.
 3. VERIFY MAKE, MODEL, AND SIZE OF FIREBOX BEFORE FRAMING.
 4. VERIFY ALL DIMENSIONS, NOTATIONS, AND DESIGN FOR ACCURACY BEFORE BEGINNING CONSTRUCTION.
 5. INTERIOR STUD WALLS DIMENSIONED AT 3-1/2".
 6. STAIRS: 17 RISERS @ 7-1/2" AND 16 TREADS @ 10". ADJUST AS NEEDED TO MEET LOCAL CITY CODES.
 7. 18" PRE-ENGINEERED FLOOR TRUSSES AS DESIGNED BY OTHERS.

FIRST FLOOR: 2473
 SECOND FLOOR: 1535
 TOTAL LIVING SQUARE FOOTAGE: 4008

PORCHES: 713
 GARAGE: 1107
 TOTAL SLAB SQ FT: 4293



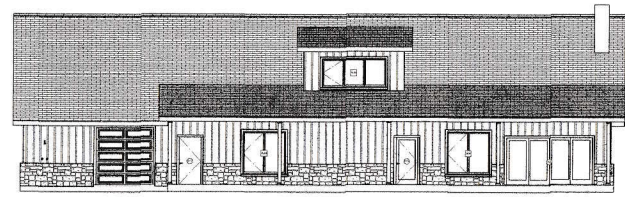
RIGHT ELEVATION



RIGHT ELEVATION

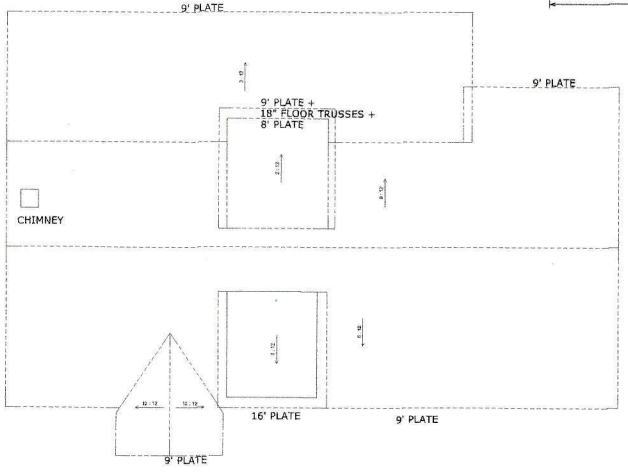
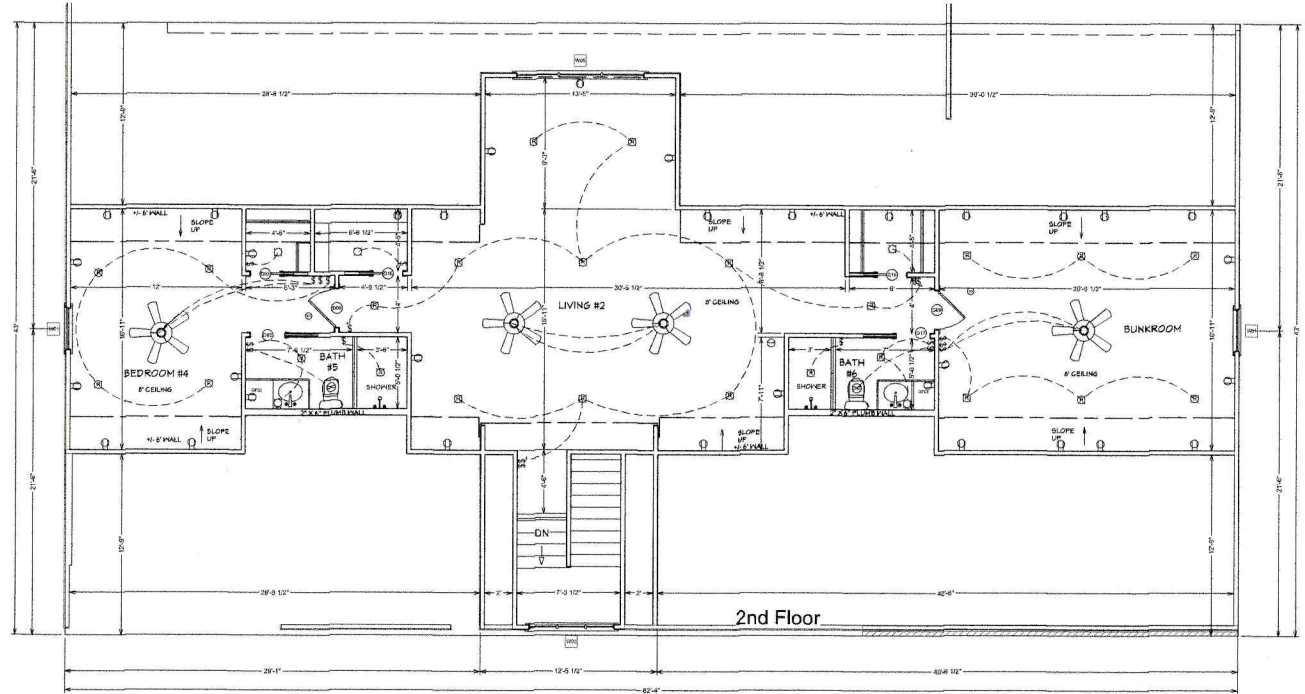


FRONT ELEVATION 1/8 in = 1 ft



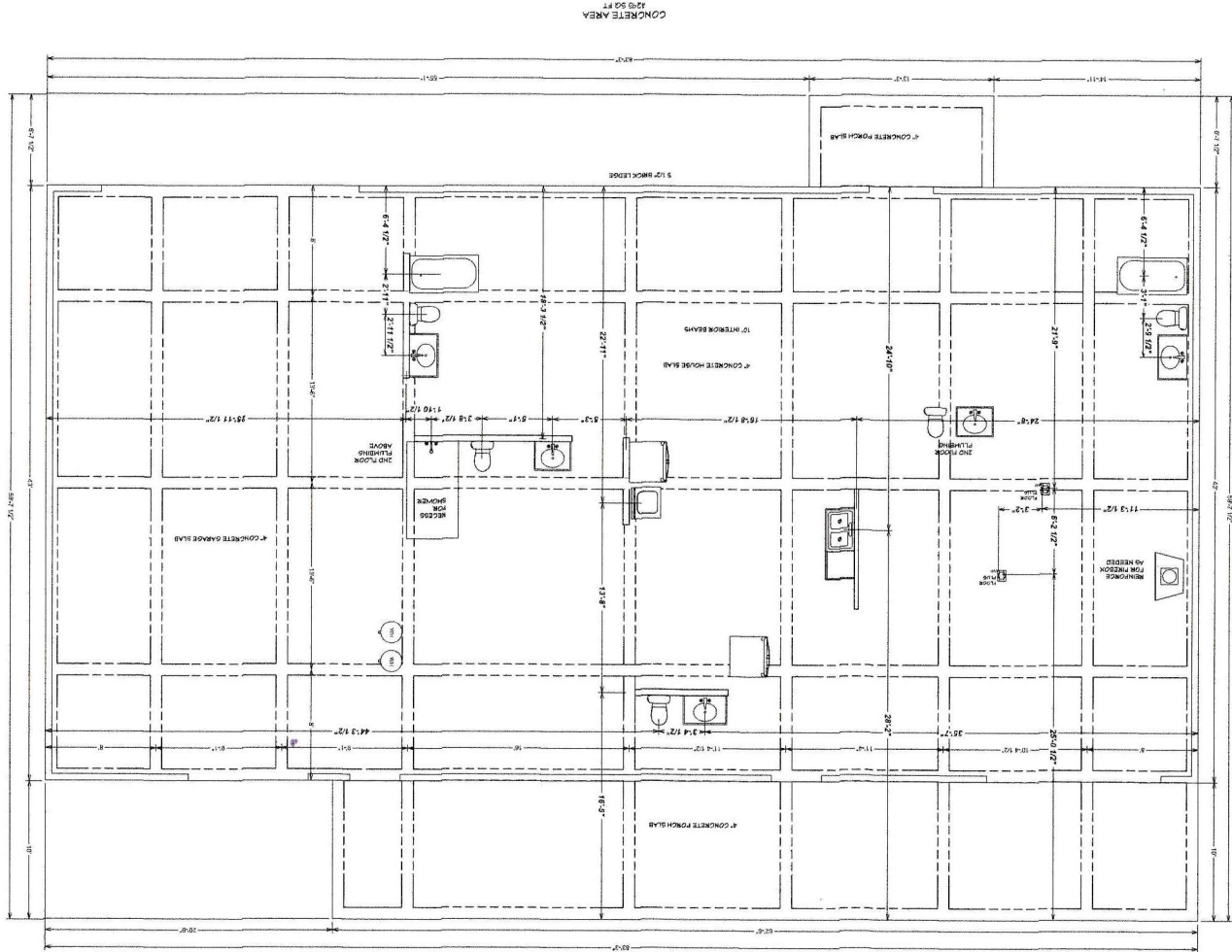
REAR ELEVATION

THE WHITE RESIDENCE			
Date: NOV 2020	Scale: 1/4" = 1'	4008 Sq. Ft.	gpr
FLOOR PLAN AND ELEVATIONS			
Page #: 1 OF 3	Drawing #: WHITE-20-4008		

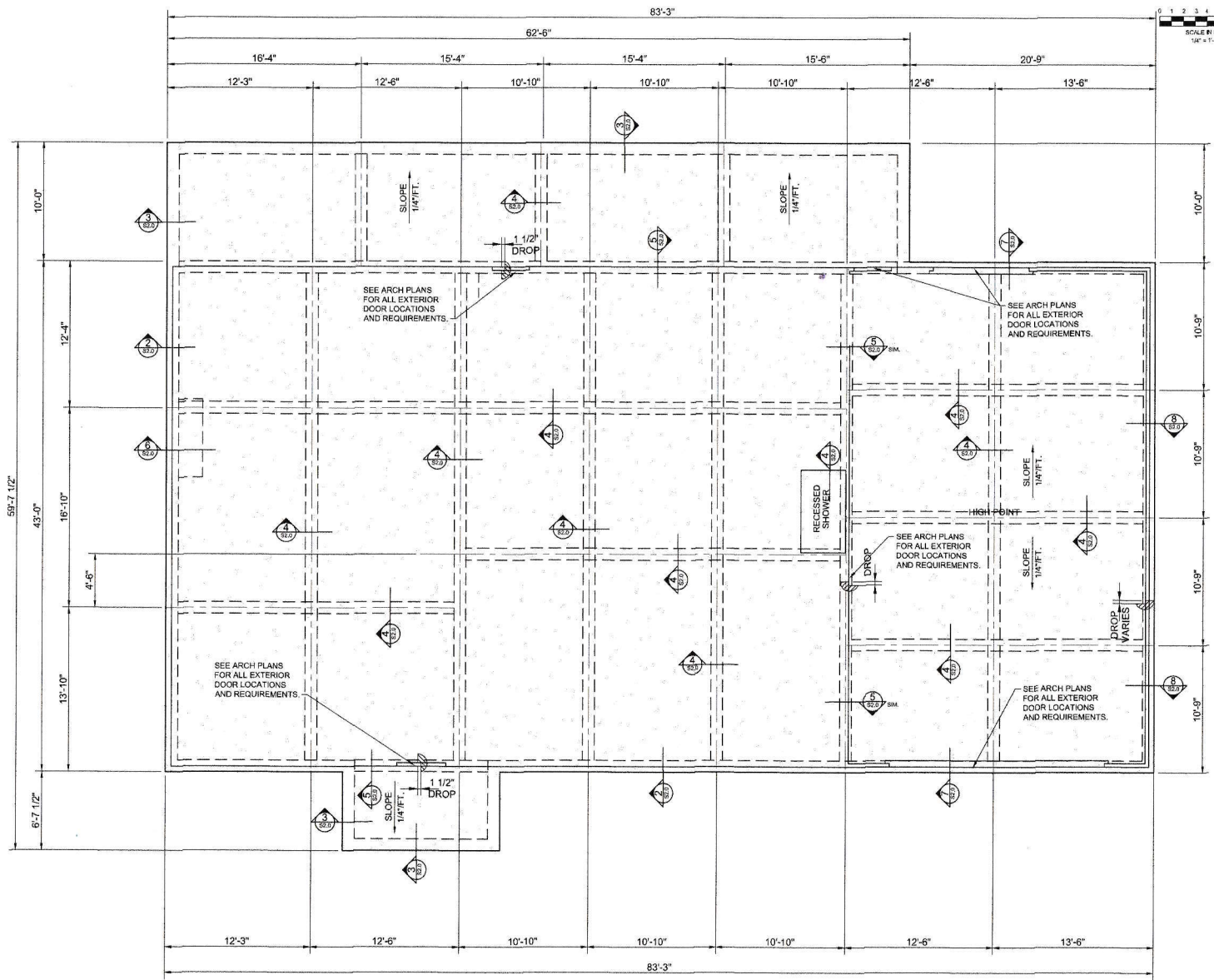


ROOF PLAN 1/8 in = 1 ft

THE WHITE RESIDENCE			
Date: NOV 2020	Scale: 1/4" = 1'	4008 Sq. Ft.	gpr
SECOND FLOOR AND ROOF PLANS			
Page #: 2 OF 3	Drawing #: KWHITE-20-4008		



CONCRETE AREA
408 SQ FT



1 FOUNDATION PLAN
S1.0

DESIGNED	CDR	DATE	BY	ISSUED FOR	DESCRIPTION		
DRAWN	BFT	202001	CDR	ISSUED FOR CONSTRUCTION			
CHECKED	CDR						
APPROVED	CDR						
DATE		1/2/21					

Rosenbaum Engineering, PLLC
 10000 W. Highway 291, Suite 1000
 Austin, Texas 78705
 www.rosenbaument.com | 512.453.0000

Foundation Plan
59 Hidden Shores Drive
Cisco, Texas 76437

SHEET NO.	8
S1.0	
1 OF 2	

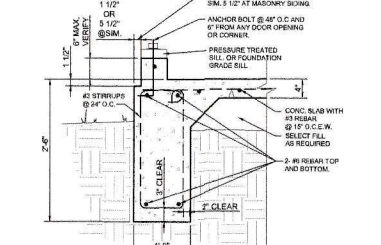
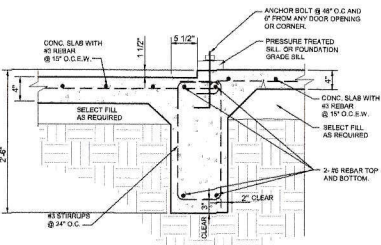
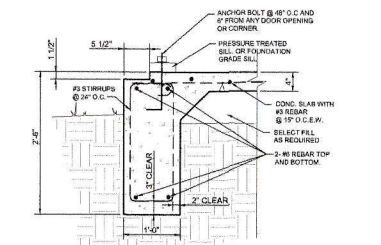
NO.	DATE	BY	DESCRIPTION
1	02/02/2021	CDR	ISSUED FOR CONSTRUCTION
2		DRW	
3		CHK	
4		APP	
5		DATE	



Rosenbaum Engineering, PLLC
 2028 Westwood Dr., Suite 200
 Houston, Texas 77056
 Cheri Rosenbaum, P.E. | ch@rosenbaumentg.com

Foundation Details & Notes
 59 Hidden Shores Drive
 Cisco, Texas 76437

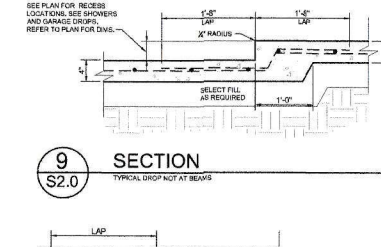
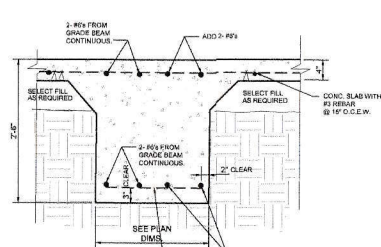
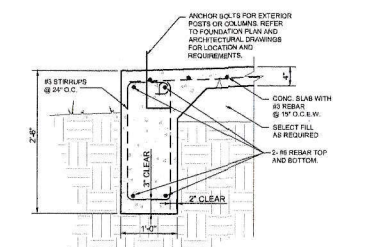
SHEET NO.
S2.0
 2 OF 2



2 SECTION
 S2.0 TYPICAL EXTERIOR BEAM

5 SECTION
 S2.0 TYPICAL EXTERIOR BEAM AT PORCHES

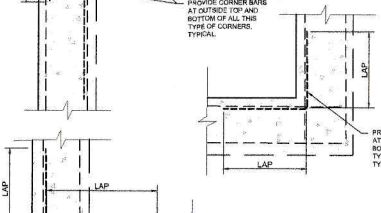
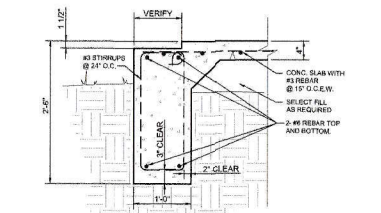
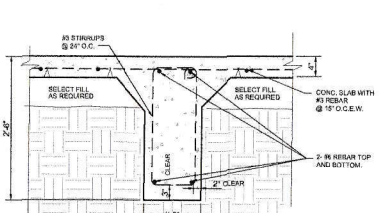
8 SECTION
 S2.0 EXTERIOR BEAM AT GARAGE WALL



3 SECTION
 S2.0 TYPICAL EXTERIOR PORCH LOCATIONS

6 SECTION
 S2.0 TYPICAL AT FIREPLACE

9 SECTION
 S2.0 TYPICAL DROP NOT AT BEAMS



4 SECTION
 S2.0 TYPICAL INTERIOR BEAM

7 SECTION
 S2.0 BEAM AT GARAGE DOOR

10 SECTION
 S2.0 TYPICAL BEAM INTERSECTIONS

FOUNDATION NOTES

- THIS FOUNDATION HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - AMERICAN CONCRETE INSTITUTE: "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
 - B.R.A.B. REPORT - CRITERIA FOR SELECTION AND DESIGN OF RESIDENTIAL SLABS-ON-GRADE.
 - ALLOWABLE BEARING CAPACITY 1,500 P.S.F.
- DESIGN LOADS - 2012 I.R.C.
 - ROOF (LIVE LOAD) 20 PSF
 - WIND (LATERAL) 15 PSF
 - WIND (UPLETT) 12 PSF
 - FLOOR (LIVE LOAD) 40 PSF AND PER BUILDING USE
- ALL CONCRETE AND REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE.
- ALL CONCRETE SHALL BE OF A DESIGN MIX TO HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
- LAP SPLICES SHALL BE 15" FOR #3, 20" FOR #4s, 25" FOR #5s AND 30" FOR #6 REINFORCING BARS.
- PROVIDE #1 MIL POLYETHYLENE VAPOR BARRIER BENEATH ALL SLABS AND BEAMS AT CONTRACTOR'S OPTION.
- EXPOSED SURFACES OF GRADE BEAMS SHALL BE RUBBED WITHIN 24 HOURS OF PLACEMENT.
- CONTRACTOR SHALL COORDINATE FOUNDATION DRAWINGS WITH ARCHITECTURAL AND MEP DRAWINGS.

SITE PREPARATION

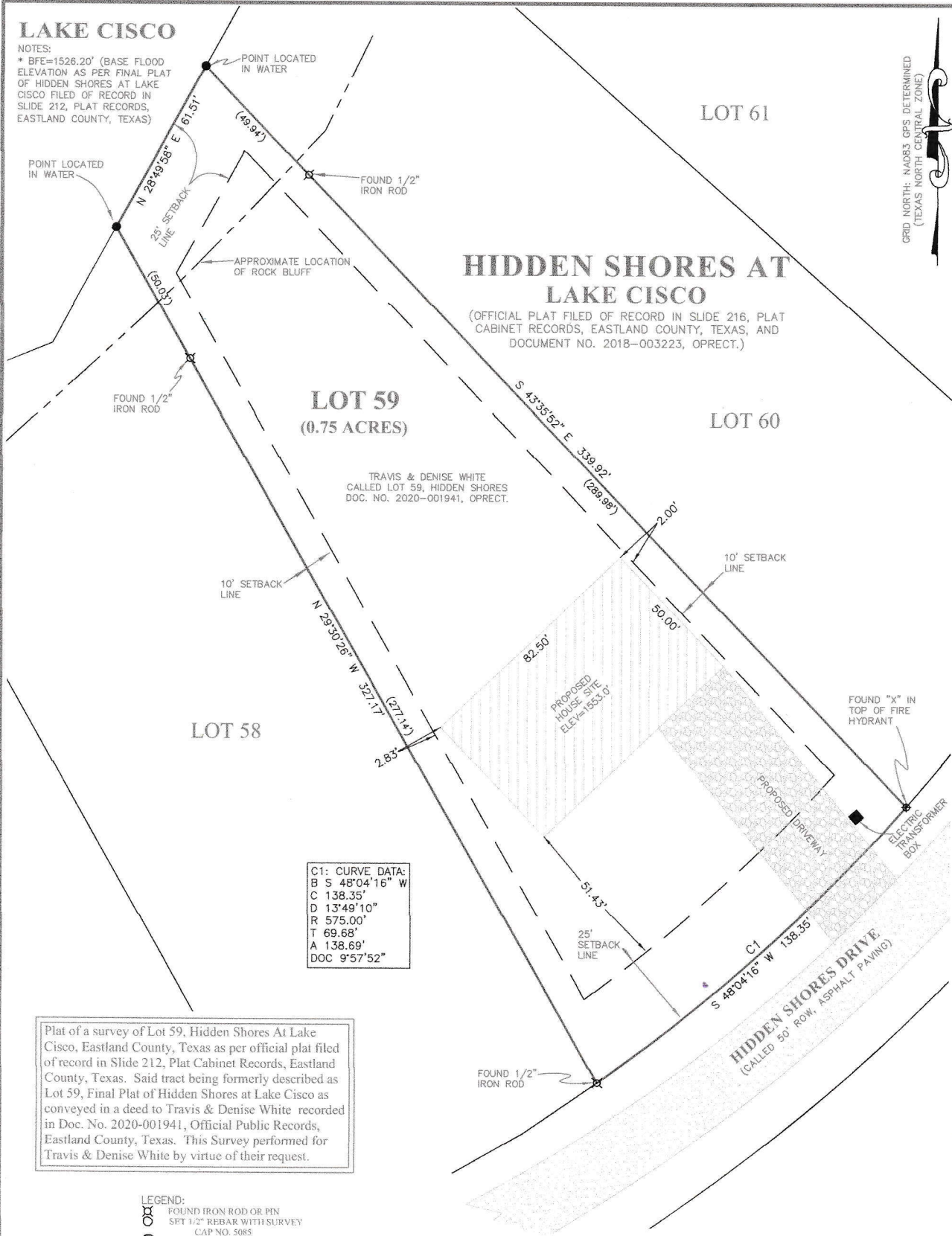
- REMOVE TREES, STUMPS, ROOTS, BRUSH AND OTHER VEGETATION, DEBRIS. TOP SOIL SHALL BE STRIPPED TO A DEPTH OF 4" TO 6".
- FOLLOWING THE NECESSARY SITE CLEARING, STRIPPING, AND CUTTING, THE SUBGRADE SHOULD BE PROOF ROLLED WITH A LOADED TANDEM AXLE TRUCK TO LOCATE ANY SOFT OR UNSTABLE AREAS. IF PRESENT, THESE SOFT OR LOOSE SOILS SHOULD BE REMOVED TO A STABLE SUBGRADE AND REPLACED WITH SELECT FILL MATERIAL. FOLLOWING PROOF ROLLING, THE SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 3 TO 6 INCHES; MOISTURE CONDITIONED TO NOT LESS THAN 6 PERCENT BELOW OPTIMUM MOISTURE CONTENT; AND RECOMPACTED BETWEEN 95 AND 100 PERCENT DRY DENSITY OF STANDARD PROCTOR. ONCE THE SUBGRADE HAS BEEN PROPERLY COMPACTED THE BUILDING PAD SHALL BE BROUGHT TO GRADE WITH SELECT FILL.
- THE SELECT FILL SHOULD CONSIST OF NON-GRANULAR (COHESIVE) SOILS FREE OF ORGANICS AND OTHER DELETERIOUS MATERIALS AND SHOULD HAVE A MAXIMUM LIQUID LIMIT OF 30, A PLASTICITY INDEX NO GREATER THAN 15 AND HAVE A MAXIMUM PARTICLE SIZE OF 2 INCHES. THE SELECT FILL SHOULD ALSO MEET THE USCS CLASSIFICATION OF SO, GC OR CL. THE STRUCTURAL FILL BENEATH THE BUILDING SHOULD BE COMPACTED TO A MINIMUM 95 PERCENT STANDARD PROCTOR (ASTM D 698) AT NOT LESS THAN 2 PERCENT BELOW OPTIMUM MOISTURE CONTENT. SELECT FILL SHOULD BE PLACED IN 6" TO 8" LAYERS.

DEEP BEAM REINFORCEMENT SCHEDULE		
BEAM DEPTH "D"(IN.)	MIN. BEAM WIDTH "B"(IN.)	STANDARD REINFORCEMENT
24" TO 36"	12"	2-#5 REBAR TOP & BOTTOM #3 STIRRUPS @ 24" O.C.
37" TO 48"	12"	2-#4 REBAR @ 18" O.C. HORIZ. #3 STIRRUPS @ 18" O.C.
49" TO 60"	12"	2-#4 REBAR @ 18" O.C. HORIZ. #3 STIRRUPS @ 18" O.C.
61" TO 72"	12"	2-#4 REBAR @ 18" O.C. HORIZ. #3 STIRRUPS @ 18" O.C.
73" TO 96"	12"	2- MATS #4 REBAR @ 18" O.C.E.W.
97" TO 120"	12"	2- MATS #4 REBAR @ 18" O.C.E.W.
121" TO 144"	12"	2- MATS #4 REBAR @ 18" O.C.E.W.
145" TO 192"	15"	2- MATS #4 REBAR @ 18" O.C.E.W.

LAKE CISCO

NOTES:
 * BFE=1526.20' (BASE FLOOD ELEVATION AS PER FINAL PLAT OF HIDDEN SHORES AT LAKE CISCO FILED OF RECORD IN SLIDE 212, PLAT RECORDS, EASTLAND COUNTY, TEXAS)

GRID NORTH: NAD83 GPS DETERMINED (TEXAS NORTH CENTRAL ZONE)



C1: CURVE DATA:
 B S 48°04'16" W
 C 138.35'
 D 13'49'10"
 R 575.00'
 T 69.68'
 A 138.69'
 DOC 9°57'52"

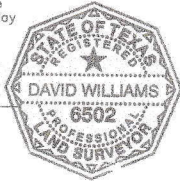
Plat of a survey of Lot 59, Hidden Shores At Lake Cisco, Eastland County, Texas as per official plat filed of record in Slide 212, Plat Cabinet Records, Eastland County, Texas. Said tract being formerly described as Lot 59, Final Plat of Hidden Shores at Lake Cisco as conveyed in a deed to Travis & Denise White recorded in Doc. No. 2020-001941, Official Public Records, Eastland County, Texas. This Survey performed for Travis & Denise White by virtue of their request.

- LEGEND:
- FOUND IRON ROD OR PIN
 - ⊕ SET 1/2" REBAR WITH SURVEY CAP NO. 5085
 - ⊙ WATER METER
 - ⊙ GAS METER
 - ▭ DESCRIBED TRACT
 - SURVEY LINE
 - EXISTING FENCE LINE
 - OVERHEAD ELECTRIC LINE

NOTES: Survey performed for descriptive purposes with no research performed on Easements affecting said tract and without the benefit of a Title Commitment on said tract.
 * Property subject to Declaration & Restrictions, recorded in Document No. 2018-003224, OPRECT.

I, David Williams do hereby certify that this plat represents a true and correct survey made on the ground under my direct supervision on this 12th day of August, 2020.

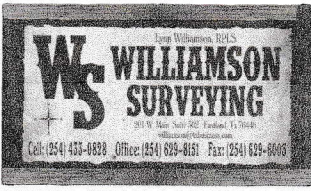
David Williams



David Williams
 Registered Professional Land Surveyor
 Texas Registration No. 6502
 08/12/2020

Note: This plat is only valid with original red signature, stamp and embossed seal.

FLOOD HAZARD STATEMENT:
 The Property and improvements described have portions located in Flood Zone "A" which is defined as Special Flood Hazard Areas, according to the "Flood Hazard Boundary Map", Community Panel No. 480793 0001 B, for the City of Cisco, Eastland County, Texas as published by the Department of Housing and Urban Development, Federal Insurance Administration, with latest revision dated April 26, 2011.
 *BFE:1526.20' (Established per Final Plat of Hidden Shores at Lake Cisco filed of record in Slide 212, Plat Cabinet Records, Eastland County, Texas.)



JB10559DW, TRAVIS & DENISE WHITE,
 08/12/2020



Type of Home and Driveways

Exterior: rock and board on batten

Charcoal gray shingle roof
cedar accents

Rock work: 3 foot up Austin Stone

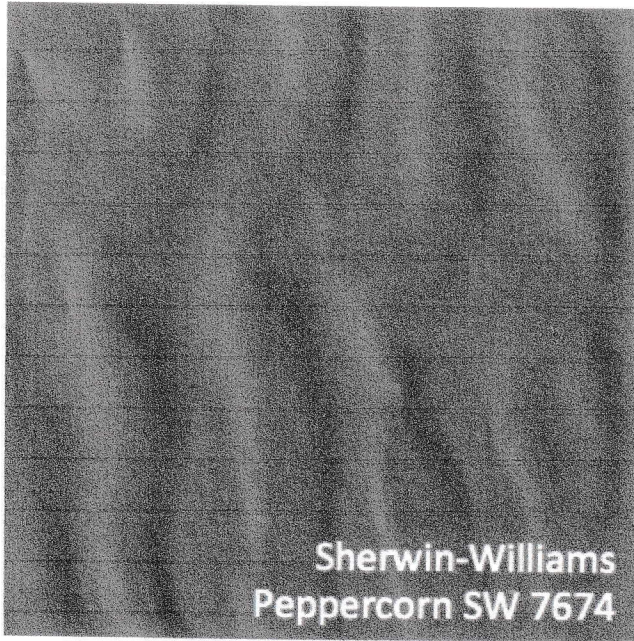
Driveway material/size: concrete drive all the
way to house.

Culverts/size: none

SW 7042
Shoji White

254-C4

exterior
← body + trim



Sherwin-Williams
Peppercorn SW 7674

exterior
trim
← door
roof .