

Lot 120 JONES APPROVED PK

No cheap



Hidden Shores

2/5/20

A T L A K E C I S C O

New Home Construction Application

Please complete the attached Architectural Application for New Home Construction. Please send all information with deposits and fees.

Requirements for submittal for new home construction:

Two sets of professionally drawn plans and specifications for all proposed construction (initial or alterations) to be on such Lot.

Engineer's certificate on foundation plan design.

Plot plans showing the location and elevation of the improvements on the Lot and dimensions of all proposed Walk ways, driveways and all other matters relevant to architectural approval.

I (agent or builder) United Built Homes request the issuance of a building permit to construct the improvements described in the attached plans and specifications. By signing this letter I certify that I have a copy of the **DECLARATIONS OF COVENANTS, CONDITIONS, AND RESTRICTIONS (CCR'S)** for the Hidden Shores at Lake Cisco Property Owners Association and that I have read and familiarized myself with those Documents. Further, I certify that the house and site design has been developed with the full knowledge of and adherence to the CCR's and that construction and jobsite conduct will proceed accordingly.

As agent or builder, I authorize the designated personnel of the Hidden Shores at Lake Cisco Property Owners Association to inspect the above described property and improvements. As agent or principle, I indemnify and hold harmless the Property Owners Association and their designees against any and all claims or loss except that of willful misdeed or gross negligence. In the event that an item of construction does not satisfy the requirements of the Hidden Shores at Lake Cisco Property Owners Association. CCR's, repair, replacement and/or augmentation of that item will be performed until that item does satisfy the requirements of Hidden Shores at Lake Cisco, LLC.

Per each application of a new home construction, a fee of two hundred and fifty dollars, \$250.00 is required. Please make check payable to Hidden Shores at Lake Cisco Property Owners Association. All maintenance and inspection fees will be paid before a Statement of Completion will be issued. Issuance of a Statement of Completion does not release the builder from any of the liability normally associated with construction and does not limit in any way the implied or actual warranties or liabilities that the builder is normally obligated.

Plans Submitted: Yes() No() Date Submitted: 11/8/2019

Plot Plan Submitted: Yes() No() Date Submitted: _____

LOCATION:

Lot: 120 Blk: _____ Addition/Tract _____

Physical Address: 168 Hidden Shores Dr Cisco TX 76437

CONTRACTOR/OWNER

Owner Name: Michael + Carolina Jones Phone: 757-373-5806

^{Builder}
Brokerage Company: United Built Home Phone: 817-991-9892 / 682-777-1074

^{Builder}
Brokerage Address: 10305 S. Foreway Fort Worth, TX 76140

Description of Home

Style: 2 story / Craftsman style

Number of Bedrooms: 3 Number of Baths: 2 1/2

Total Finished Area: 2100 Unfinished Area (SQ.FT. & Location) 630

Garage Area: 0 Number of Garage Stalls 0

PRICE RANGE

Sales Price: \$232,205

CONSTRUCTION SCHEDULE

Proposed Construction Start Date: 11/7/19

Proposed Construction Completion Date: 5/29/19

COLOR SELECTION: Use this form for exterior color selection approval process. Please attach color swatch and deliver to our office.

Body: mindful Gray SW7016 Trim: Pure White Door: Festoon Aqua SW0019

Paint Manufacture: Sherwin Williams

CERTIFICATION

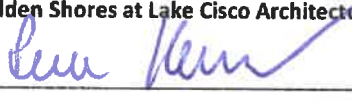
I (we) certify that the above information provided, constitutes a description of the proposed building, items of construction, location and site will be in accordance with the Hidden Shores at Lake Cisco Property Owners' Association DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS set forth in Hidden Shores at Lake Cisco Subdivision. I (we) further certify that the work will be completed in a timely, workmanlike manner and that the building site and adjacent areas will be free of litter and debris during construction.

Owner: 

Builder: 

Date: 10/29/19

Hidden Shores at Lake Cisco Architectural Review Board Signatures:

 Date: 2-5-20

_____ Date: _____

_____ Date: _____

Approved/Approved as noted: Date:

Rejected as noted: Date:

Hidden Shores POA

Date: 11/4/19 Check #: 709575 Chk Amt: \$250.00

Invoice Number
15004907-Jones

Invoice Date
10/31/19
Invoice Amount
\$250.00

WARNING - THIS CHECK IS PROTECTED BY SPECIAL SECURITY GUARD PROGRAM™ FEATURES

UBH

United Built Homes, L.L.C.
Capital One Disbursement Account
8500 Line Avenue
Shreveport, Louisiana 71106

Check Number: 709575
Date: November 04, 2019

Capital One, N.A.
84-487/1111

* Two Hundred Fifty Dollars And Zero Cents **

250.00

PAY TO THE ORDER OF
HIDDEN SHORES POA
2107 CONRAD HILTON
CISCO, TX 76437



[Handwritten Signature]

THIS CHECK CONTAINS MULTIPLE SECURITY FEATURES - SEE BACK FOR DETAILS

⑈ 709575⑈ ⑆065000090⑆ 2082577893⑈



400 N. Allen Dr.
Suite # 205
Allen, Texas 75013
(972) 727-8572

November 6, 2019

To: United Built Homes

Re: Residential Foundation
Property Address:
Jones
120 Hidden Shores
Cisco, TX 76434

This letter is to certify that the foundation design issued by RCS Enterprises, LP at the above-mentioned address has been designed in accordance with site specific soil conditions and is in compliance with the requirements of the 2015 revision of the International Residential Code.

If I can be of any further assistance, just let me know.

J. Martin Montgomery
16:04:15 2019.11.06
'00'06-



J. Martin Montgomery
Registered Professional Engineer
State of Texas No. 90427
F-2071

Notations

Limitations of Liability

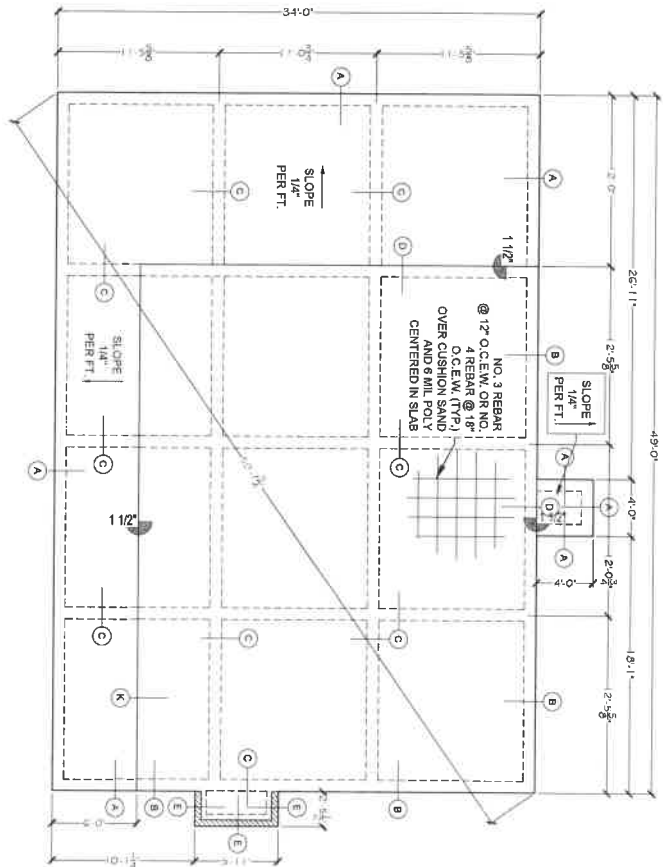
THIS REPORT, ITS OPINIONS, AND ITS RECOMMENDATIONS DO NOT CONSTITUTE A PERFORMANCE CONTRACT WITH EITHER OUR CUSTOMER OR ANY OTHER PARTY. IN NO EVENT SHALL RCS ENTERPRISES, LP'S AGGREGATE LIABILITY UNDER THIS AGREEMENT EXCEED THE MONIES PAID TO RCS ENTERPRISES, LP BY THEIR CUSTOMER UNDER THIS AGREEMENT. RCS ENTERPRISES, LP WILL NOT BE LIABLE FOR ANY CLAIM OR DAMAGE AGAINST THEIR CUSTOMER BY ANY OTHER PARTY. IN NO EVENT SHALL RCS ENTERPRISES, LP BE LIABLE FOR ANY SPECIAL INDIRECT, INCIDENTAL, PUNITIVE, OR CONSEQUENTIAL DAMAGES IN CONNECTION WITH OR ARISING OUT OF THIS AGREEMENT OR THE USE OF THE INFORMATION OR OPINIONS PROVIDED HEREIN, REGARDLESS OF WHETHER RCS ENTERPRISES, LP HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGES.

SHEET INDEX:
 REBAR SLAB FOUNDATION
 S1.1 - PLAN VIEW
 S1.2 - CONSTRUCTION DETAILS
 S1.3 - CONSTRUCTION NOTES

SYMBOLS:
 FOUNDATION STRIP

GEN. NOTE:
 FOUNDATION STRIP LAYERS ARE BELOW MID-PAVING. CONTRACTOR SHALL PRE-SATURATE THE SOIL TO MID-PAVING HEIGHT AND LEVELS PRIOR TO POURING. PROVIDENT POTENTIAL.

REBAR SLAB FOUNDATION - PLAN VIEW



REVISION HISTORY	
NO.	DESCRIPTION

ISSUE DATE: 11/08/2019
 DRAWN BY: DAC
 SCALE: 1/8"=1'-0"
 SHEET NUMBER: 24x38

0006-18-03-43
 2019 11 06
 L. MARTIN MONTGOMERY
 ENGINEER STATE OF TEXAS NO. 90427
 RGS ENTERPRISES, LP - 25071

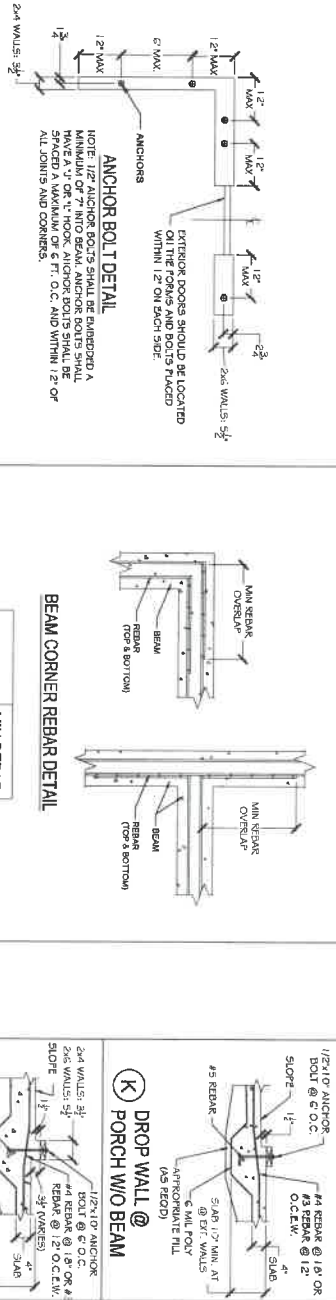
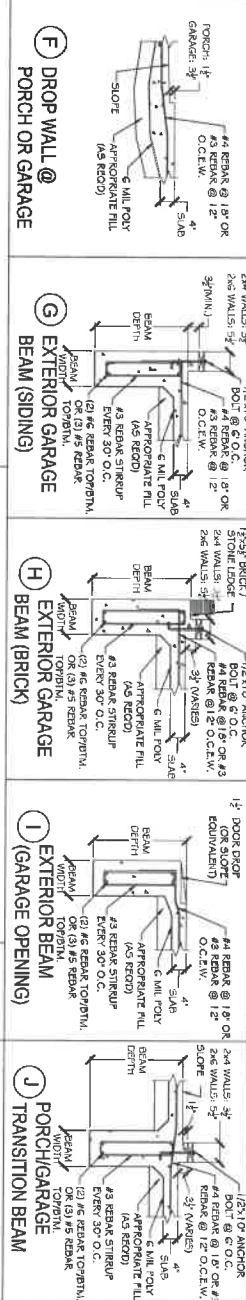
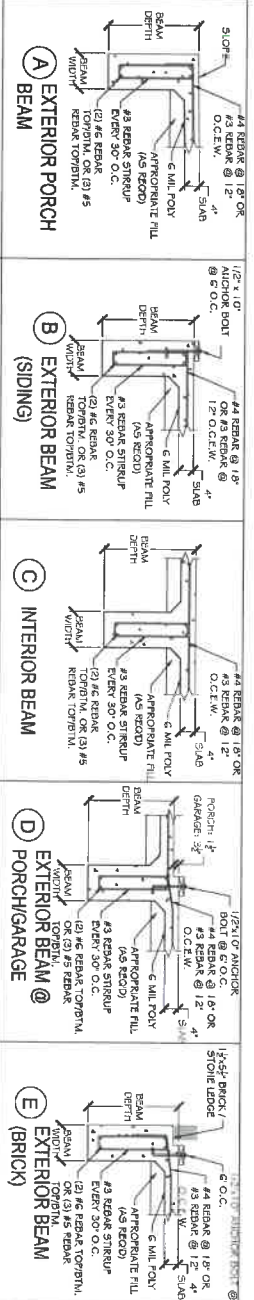


PROJECT:
 UNITED BUILT HOMES
 JONES
 120 HIDDEN SHORES
 CISCO, TEXAS 76434



RCS Enterprises, LP
 Engineering & Inspection Services
 400 N. Kilam Dr. Suite #2205
 Allen, Texas 75015
 (972) 727-8572
 www.rcsenterprises.net

BEAM DIMENSIONS:
 BEAM WIDTH (MIN.): 10"
 BEAM DEPTH (MIN.): 26"



ANCHOR BOLT DETAIL

NOTE: 1/2" ANCHOR BOLTS SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE CONCRETE. ANCHOR BOLTS SHALL BE SPACED A MAXIMUM OF 6 FT. O.C. AND WITHIN 12" OF ALL JOINTS AND CORNERS.

BEAM CORNER REBAR DETAIL

REBAR SIZE	MIN REBAR OVERLAP
#3	14"
#4	18"
#5	23"
#6	27"

REBAR SLAB FOUNDATION - CONSTRUCTION DETAILS

PROJECT:
 UNITED BUILT HOMES
 120 HIDDEN SHORES
 CISCO, TEXAS 76434

Montgomery
 2019.11.06
 00706-1630332
 T. MARTIN KONTIGOSBERY
 ENGINEER STATE OF TEXAS INC.
 P.O. BOX 4047
 FORT DAVENPORT, TX 75701

STATE OF TEXAS
 T. MARTIN KONTIGOSBERY
 90427
 (Professional Engineer Seal)

REVISION HISTORY

NO.	DATE	DESCRIPTION
1		
2		
3		
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10		

ISSUE DATE: 11/06/2019
 DRAWN BY: BW
 SCALE N.T.S.: 1/4" = 1'-0"
 SCALE N.T.S.: 2/4" = 1'-0"
 SHEET NUMBER: **S1.2**

RCS Enterprises, LP
 Engineering & Inspection Services
 488 N. Miller Dr., Suite #205
 Allen, TX 75013
 (972) 727-6572
 www.rcsenterprises.com

- DESIGN PARAMETERS:**
- WIND SPEED: 115 MPH 3-SEC. GUST PER ASCE 7-10
 - WIND EXPOSURE CATEGORY: C
 - SOIL DESIGN CATEGORY: A
 - SOIL BEARING CAPACITY: 1500 PSF (FIELD CAPACITY)

- GENERAL NOTES:**
- THIS FOUNDATION IS SITE SPECIFIC AND HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS VARIOUS SECTIONS FROM:
 - 2015 INTERNATIONAL RESIDENTIAL CODE
 - DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS-ON-GROUND, SECOND EDITION, 1996, POST TENSIONING INSTITUTE
 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318-02/18 R-02, AMERICAN CONCRETE INSTITUTE
 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI 301-14, AMERICAN CONCRETE INSTITUTE
 - CRITERIA FOR SELECTION AND DESIGN OF RESIDENTIAL SLABS-ON-GROUND, BRAM REPORT #33
 - DESIGN AND CONSTRUCTION OF FROST-PROTECTED SHALLOW FOUNDATION, (FPSF) DOCUMENT NUMBER ASCE 32-01

- DRAINAGE & SITE NOTES:**
- THIS SOIL SHOULD BE PROTECTED FROM ALL FILL MATERIALS AND EXCAVATED SOIL FROM BEAM TRENCHES AND UTILITY RUNS AND REPLACE WITH ON-SITE FILL OR ENGINEERED SELECT FILL.
 - REMOVE VEGETATION, INCLUDING TREES, FROM THE PERIMETER OF THE FOUNDATION TO MINIMIZE MOISTURE PENETRATION. NEAR THE FOUNDATION, DO NOT ALLOW THE SOIL TO DRY OUT TO THE POINT WHERE IT CRACKS OR PLUGS AWAY FROM THE FOUNDATION. THE USE OF A STABLE FOUNDATION IS BOTH SHORT AND LONG TERM CONTROL OF SOIL MOISTURE LEVELS. TREES AND LARGE VEGETATION DRAW MOISTURE FROM UNDER THE FOUNDATION AND CAN CAUSE DRY SOIL CONDITIONS AND RESULT IN SEASONAL FOUNDATION MAINTENANCE CAN PREVENT LONGER TERM MOVEMENT.
 - EROSION OF THE SOIL ALONG THE PERIMETER OF THE FOUNDATION SHOULD BE PREVENTED WITH THE USE OF SURFACE LANDSCAPING, RETAINING WALLS OR OTHER MEANS.
 - ONLY CLAY SOILS SHOULD BE PLACED WITHIN THE FIRST 3" OF THE FOUNDATION TO MINIMIZE MOISTURE PENETRATION. NEAR THE FOUNDATION, DO NOT FOUR SLAB IN MUDDY SOIL CONDITIONS. IN DRY SOIL CONDITIONS, SEVERAL INCHES OF WATER SHOULD BE ADDED TO THE TRENCHES AT LEAST 24 HOURS PRIOR TO POURING OF THE SLAB TO PRE-SWELL THE SOIL.
 - SEVERAL FACTORS RELATED TO CIVIL ARCHITECTURAL DESIGN AND/OR MAINTENANCE CAN WHICH CAN SIGNIFICANTLY AFFECT FUTURE MOVEMENTS OF FOUNDATION:

- WHERE POSITIVE SURFACE DRAINAGE CANNOT BE ACHIEVED BY GRADING THE GROUND SURFACE ADJACENT TO BUILDINGS, A COMPLETE SYSTEM OF GUTTERS AND DOWNSPOUTS SHALL CARRY RUNOFF WATER A MINIMUM OF 10' FROM THE COMPLETED STRUCTURES.
- PLANTERS LOCATED ADJACENT TO THE STRUCTURES SHALL PREFERABLY BE SELF-CONTAINED. SPRINKLER MAINS SHALL BE LOCATED A MINIMUM OF 5' FROM THE BUILDING LINE.
- LARGE TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO THE FOUNDATIONS THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY THEIR MATURE HEIGHT DUE TO THEIR SIGNIFICANT MOISTURE DEMAND UPON MATURING. ROOT BARRIERS CAN BE INSTALLED BETWEEN THE TREES AND THE FOUNDATION.
- MOST DRAIN CONDITIONS SHALL BE MAINTAINED 'CONSTANT' AROUND THE EDGE OF THE SLABS. FONDING OF WATER IN PLANTERS, IN UNPAVED AREAS AND AROUND JOINTS IN PAVING AND SIDEWALKS CAN CAUSE SLAB MOVEMENTS BEYOND THOSE PREDICTED.
- ROOF DRAIN SHALL DISCHARGE ON PAVED OR BE EXTENDED AWAY FROM THE STRUCTURES. IDEALLY, ROOF DRAIN SHALL DISCHARGE TO STORM SEWERS BY CLOSED PIPE.

- CONCRETE NOTES:**
- ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH 1" MINIMUM AGGREGATE SIZE A MAXIMUM SLUMP OF 4", AND HAVE 3-5% AIR ENTRAINMENT.
 - ALL CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED CONCRETE CONFORMING TO ACI 318, ACI 301, AND ASTM C94, LATEST EDITIONS.
 - ALL CONCRETE SHALL BE PROTECTED FROM ALL FILL MATERIALS AND EXCAVATED SOIL FROM BEAM TRENCHES AND UTILITY RUNS AND REPLACE WITH ON-SITE FILL OR ENGINEERED SELECT FILL.
 - ALL CONCRETE SLAB CONSTRUCTION AND CURING SHALL CONFORM TO GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1 R-04.
 - CONCRETE WATER CONTENT AND QUALITY SHOULD BE CONTROLLED IN ACCORDANCE WITH ACI BUILDING CODE REQUIREMENTS.

- REINFORCEMENT NOTES:**
- ALL CONVENTIONAL REINFORCING BARS (REBAR) SHALL CONFORM TO ASTM A615. REBAR SHALL BE GRADE 60.
 - EXERCISE CARE IN PLACING CONCRETE TO ENSURE THAT REBAR LOCATIONS ARE MAINTAINED.
 - USE CONTINUOUS STEEL IN WALLS AS MUCH AS POSSIBLE. OTHERWISE, TOP BARS SHALL BE SPLICED AT CENTER SPAN AND BOTTOM BARS OVER THE SUPPORTS. MINIMUM SPLICE TO BE 3x BAR DIAMETERS. CONSTRUCTION JOINTS IN BEAMS AND SUPPORTED SLAB SHALL BE MADE AT QUARTER SPAN.
 - REBAR USED FOR REINFORCEMENT OF FOUNDATION MUST BE A MIN. OF 3" FROM SOIL AND 1 1/2" FROM CONTACT WITH AIR EXCEPT IN SLAB WHERE IT IS CENTERED.



- CONSTRUCTION NOTES:**
- UPON COMPLETION OF THE FINAL GRADING, ALL BEAMS SHALL HAVE 1.8" MINIMUM SOIL COVERAGE. THERE SHOULD BE A MINIMUM OF 2" CLEARANCE BETWEEN TOP OF SLAB OR BRICK LEDGE AND SOIL SURFACE.
 - IF SOIL ROCK IS ENCOUNTERED DURING BEAM EXCAVATIONS, THE BEAM SHOULD BE SET ON A MINIMUM OF 12 INCHES OF MINIMUM DEPTH OF 12 INCHES.
 - PLACE A 6 MIL POLYETHYLENE VAPOR BARRIER WITH LAPPED JOINTS BENEATH ALL SLAB AREAS DO NOT LEAK AND ACROSS THE BEAM BOTTOMS.
 - PLUMBING LINES SHOULD BE LOCATED IN TRENCHES BETWEEN BEAMS AND CROSS AT RIGHT ANGLES UNDER BEAMS.
 - ALL PLUMBING AND ELECTRICAL LINES PASSING UNDER THE FOUNDATION SHOULD BE SEALED WITH CONCRETE OR TIGHTLY PACKED CLAY TO PREVENT A CHANNEL FOR MOISTURE MIGRATION UNDER THE SLAB WHICH CAN CAUSE LOCALIZED SWELLING OF THE SOIL.
 - ALL LEAVE-OUTS AND SLAB PENETRATIONS SHALL BE PROPERLY WEAFFED IN ACCORDANCE WITH ACI STANDARDS.
 - PROVIDE A MINIMUM OF 2" CLEARANCE BETWEEN STRANDS AND CONCRETE EDGES AT CORNERS, DROPS AND BLOCKOUTS.
 - TO MINIMIZE CRACKING DUE TO SHRINKAGE, PARTIAL STRESSING TO 30% OF TOTAL REQUIRED STRESS IS RECOMMENDED 24 TO 36 HOURS AFTER POURING. APPLY POST TENSION LOAD TO CABLE WITHIN 7 TO 10 DAYS OF THE POUR AND AT A MINIMUM COMPRESSION STRESS OF CONCRETE OF 2,000 PSI.

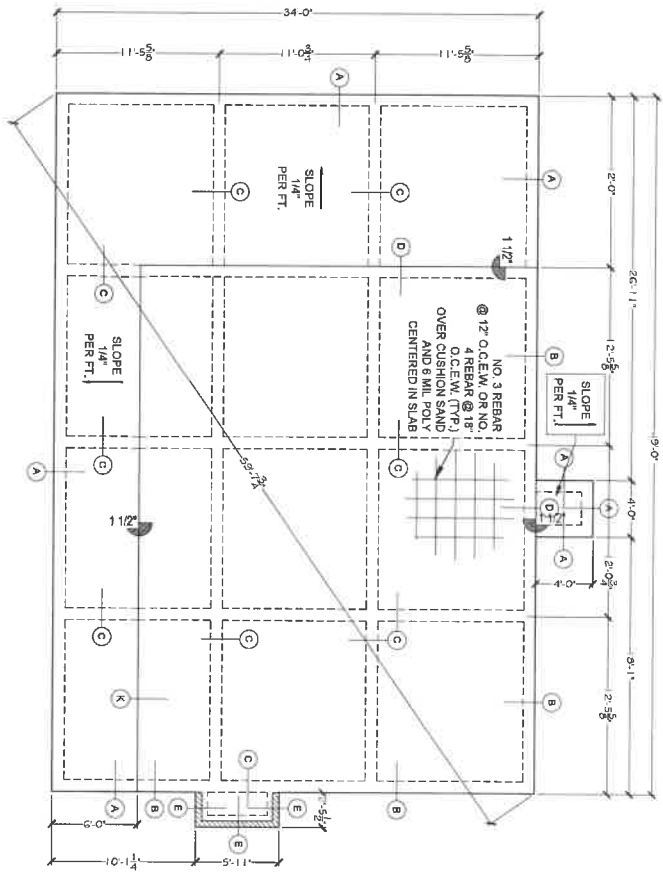
- BEAM NOTES:**
- BEAMS SHOULD BE COVERED FROM BOTTOM OF BEAM TO REINFORCING STEEL TO BE 3"
 - MIN. BEAM REINFORCEMENT SHALL BE 2 #4
 - ALL EXT. BEAMS MUST EXTEND AT LEAST 12" BELOW UNDISTURBED SOIL OR SUITABLE FILL SOIL WHICH HAS BEEN COMPACTED TO 95% MODIFIED PROCTOR DENSITY. ALL EXT. BEAMS MUST ALSO EXTEND TO THE LOCAL FROST DEPTH (CONSULT WITH LOCAL BUILDING AUTHORITIES FOR THE OFFICIAL FROST LINE DEPTH).

REFERENCES & LIMITATIONS:

ALL MODIFICATIONS OR CHANGES SHALL BE IN WRITING AND NO VERBAL DEVIATIONS ARE PERMITTED. ANY CHANGES OR ANY DEVIATIONS TO THIS PLAN CONSTITUTE A BREACH OF THIS PLAN AND RENDERERS VOID THE ENGINEERS CERTIFICATION AS WELL AS ALL EXPRESSED OR IMPLIED LIABILITY OR WARRANTY OF THIS DESIGN. RCS ENTERPRISES, LP LIABILITY FOR THIS DESIGN IS LIMITED TO \$500,000. USE OF THIS PLAN OF THIS DESIGN INDICATES ACCEPTANCE OF ALL OF THE REQUIREMENTS. THE WARRANTY OF THIS DESIGN IS LIMITED TO THIS PLAN AND DOES NOT INCLUDE WHAT MAY NOT BE INSTALLED AT CONSTRUCTION. PLEASE CONTACT US IF YOU HAVE QUESTIONS ABOUT THIS DESIGN OR THE SPECIFICATIONS OF IT'S USE. WE EXPRESSLY DENY ANY WARRANTY THAT THIS DESIGN WILL SATISFY THE PARTICULAR DESIRES OF A PARTICULAR CUSTOMER.

REBAR SLAB FOUNDATION - CONSTRUCTION NOTES

		<p>PROJECT: UNITED BUILT HOMES JONES 120 HIDDEN SHORES CISCO, TEXAS 76434</p>	 <p>Engineering & Inspection Services 400 N. Allen Dr., Suite #205 Allen, Texas 75013 15723 723-8572 www.rcsenterprises.net</p>																					
<p>Montgomery 2018.11.06 009-16,03,24 RCS ENTERPRISES, LP 15723 723-8572</p>		<p>REVISION HISTORY</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/06/2018</td> <td>ISSUE DATE: 11/06/2018</td> </tr> <tr> <td>2</td> <td></td> <td>DRAWN BY: BW</td> </tr> <tr> <td>3</td> <td></td> <td>SCALE: N.T.S.</td> </tr> <tr> <td>4</td> <td></td> <td>SCALE: N.T.S.</td> </tr> <tr> <td>5</td> <td></td> <td>SCALE: N.T.S.</td> </tr> <tr> <td>6</td> <td></td> <td>SCALE: N.T.S.</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	11/06/2018	ISSUE DATE: 11/06/2018	2		DRAWN BY: BW	3		SCALE: N.T.S.	4		SCALE: N.T.S.	5		SCALE: N.T.S.	6		SCALE: N.T.S.
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SHEET NUMBER:
 REBAR SLAB FOUNDATION
 S1.1 - PLAN VIEW
 S1.2 - CONSTRUCTION DETAILS
 S1.3 - CONSTRUCTION NOTES

SYMBOLS:
 FOUNDATION STEP

FOOTING NOTE:
 ALL FOOTING SURFACE LEVELS ARE BELOW
 MID-VALUE. CONTRACTOR SHALL
 PRE-SATURATE THE SOIL TO MID-VALUE
 AND STAKE LEVELS PRIOR TO POURING
 FOOTING CONCRETE.

REBAR SLAB FOUNDATION - PLAN VIEW

REVISION HISTORY	
NO.	DESCRIPTION

ISSUE DATE: 11/09/2019
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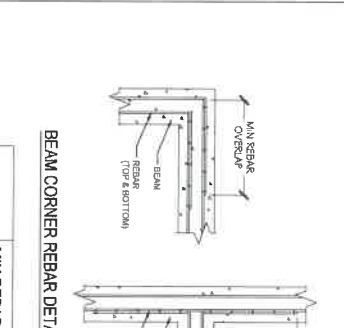
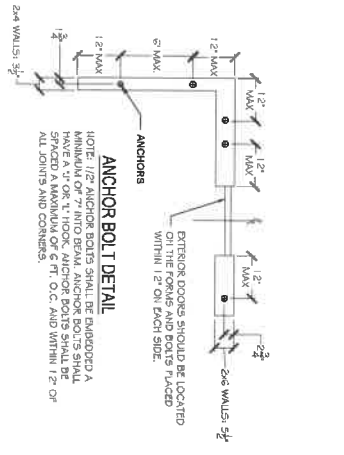
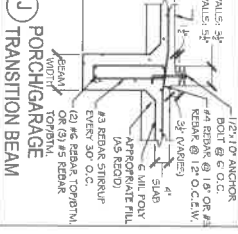
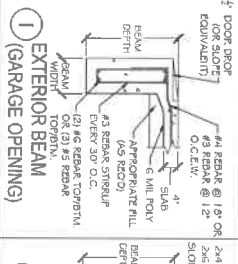
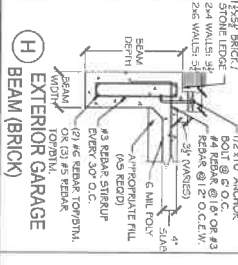
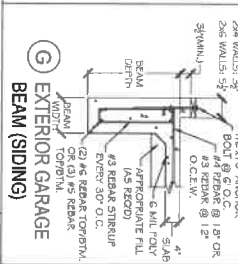
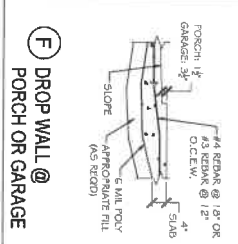
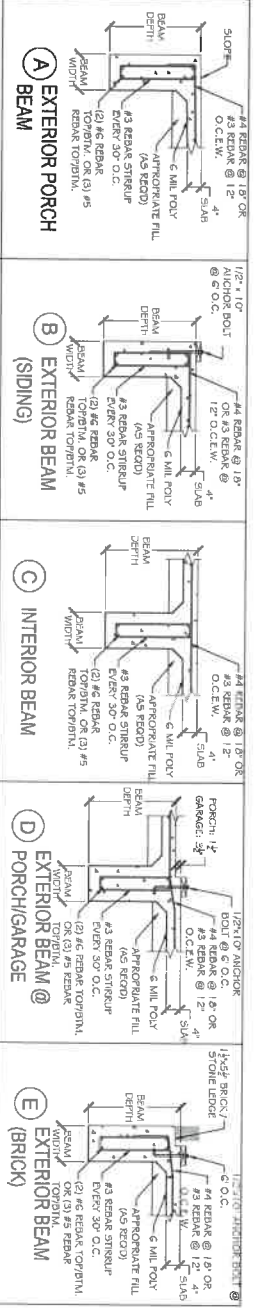
Montgomery
 2018.11.08
 0005-16.03.43
 L. MARTIN MONTGOMERY
 ENGINEER STATE OF TEXAS - NO.
 90427
 RCSI ENTERPRISES, LP #2071

PROJECT:
 UNITED BUILT HOMES
 JONES
 120 HIDDEN SHORES
 CISCO, TEXAS 76434

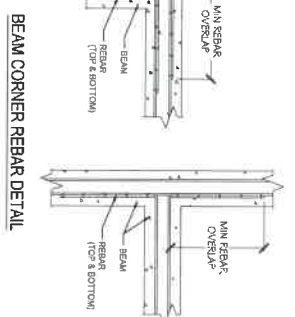
Engineering & Inspection Services
 488 A. Kilbow Dr. Suite #205
 Abilene, Texas 79603
 (327) 227-8372
 www.rcsenterprises.net

S1.1

BEAM DIMENSIONS:
 BEAM WIDTH (MIN.): 1'0"
 BEAM DEPTH (MIN.): 26"



ANCHOR BOLT DETAIL
 NOTE: 1/2" ANCHOR BOLTS SHALL BE ENCASED A MINIMUM OF 12" ON EACH SIDE OF THE BEAM. 3/4" ANCHOR BOLTS SHALL BE ENCASED A MINIMUM OF 6" FT. O.C. AND WITHIN 12" OF ALL JOINTS AND CORNERS.



REBAR SIZE	MIN REBAR OVERLAP
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REBAR SLAB FOUNDATION - CONSTRUCTION DETAILS

PROJECT: UNITED BUILT HOMES
 120 HIDDEN SHORES
 CISCO, TEXAS 76434

Montgomery
 2019.11.06
 0009-160332

2. MARTIN MONTGOMERY
 80427

2. MARTIN MONTGOMERY
 ENGINEER STATE OF TEXAS INC.
 RICH INTERSTATE BLVD. LP. #2071

REVISION HISTORY

NO.	DATE	DESCRIPTION
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ISSUE DATE: 11/09/2019
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 SCALE: N.T.S. 1/16"
 SCALE: N.T.S. 24x38
 SHEET NUMBER: S1.2

RCS Enterprises, LP
 Engineering & Inspection Services
 480 N. Eldon Dr. Suite #205
 Dallas, Texas 75013
 (972) 727-4572
 www.rcsenterprises.com

DESIGN PARAMETERS:
 WIND SPEED: 117.3 MPH 3-SEC. GUST PER ASCE 7-10
 WIND EXPOSURE CATEGORY: C
 DESIGN WIND CATEGORY: A
 SOIL BEARING CAPACITY: 1,500 PSF (FIELD CONTROL)

GENERAL NOTES:
 THIS FOUNDATION DESIGN AND HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS VARIOUS SECTIONS FROM:
 2015 INTERNATIONAL RESIDENTIAL CODE
 DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS-ON-GROUND, SECOND EDITION, 1996, POST-TENSIONING INSTITUTE
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 DESIGN AND CONSTRUCTION OF FROST-PROTECTED SHALLOW FOUNDATION, (FR37) DOCUMENT NUMBER: ASCE 32-01

DRAINAGE & SITE NOTES:
 SITE 30% GRADE, CONCRETE AND CURING SHALL CONFORM TO THE PROVISIONS OF ACI 302.1 R-04, GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION,
 THE FOUNDATION DESIGN IS BASED ON EXISTING UNIMPROVED SOIL CONDITIONS. REMOVE ALL LOOSE AND EXCAVATED SOIL FROM BEAM TRENCHES AND UTILITY RUNS AND REPLACE WITH ON-SITE FILL OR ENGINEERED SELECT FILL.
 THE MINIMUM LEVEL OF CONSTRUCTION FOR ALL FILL MATERIAL SHALL BE 95% OF ASTM D698 STANDARD PROCTOR DENSITY.
 DO NOT VIBRATE IN BUILDING, ROTTS, FROM THE SLAB SITE.
 DO NOT VIBRATE IN BUILDING, ROTTS, FROM THE SLAB SITE.
 DO NOT VIBRATE IN BUILDING, ROTTS, FROM THE SLAB SITE.
 THE FOUNDATION SHALL BE CONSTRUCTED ON THE EXISTING GROUND SURFACE. THE FOUNDATION SHALL BE CONSTRUCTED ON THE EXISTING GROUND SURFACE.
 EROSION OF THE SOIL ALONG THE PERIMETER OF THE FOUNDATION SHOULD BE PREVENTED WITH THE USE OF SURFACE EROSION CONTROL MEASURES SUCH AS GRASSING, MULCHING, OR OTHER MEANS.
 ONLY CLAY SOILS SHOULD BE PLACED WITHIN THE FIRST 3' OF THE FOUNDATION TO MINIMIZE MOISTURE PENETRATION NEAR THE FOUNDATION.
 DO NOT POUR SLAB IN MUDDY SOIL CONDITIONS. IN DRY SOIL CONDITIONS, SEVERAL INCHES OF WATER SHOULD BE ADDED TO THE TRENCHES AT LEAST 24 HOURS PRIOR TO POURING OF THE SLAB TO PRE-SWELL THE SOIL.
 SEVERAL FACTORS RELATED TO CIVIL/ARCHITECTURAL DESIGN AND/OR MAINTENANCE CAN WHICH CAN SIGNIFICANTLY AFFECT FUTURE MOVEMENTS OF FOUNDATION:
 WHERE POSITIVE SURFACE DRAINAGE CANNOT BE ACHIEVED BY GRADING THE GROUND SURFACE ADJACENT TO BUILDINGS, A COMPLETE SYSTEM OF GUTTERS AND DOWNSPOUTS SHALL CARRY RUNOFF WATER A MINIMUM OF 10' FROM THE COMPLETED STRUCTURES.
 PLANTER BOX STRUCTURES PLACED ADJACENT TO THE STRUCTURES SHALL PREFERABLY BE SELF-CONTAINED. SPRINKLER MAINS SHALL BE LOCATED A MINIMUM OF 5' FROM THE BUILDING LINE.
 LARGE TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO THE FOUNDATIONS THAN A HORIZONTAL DISTANCE EQUAL TO ROUGHLY THEIR MATURE HEIGHT DUE TO THEIR SIGNIFICANT MOISTURE DEMAND UPON MATURING. ROOT BARRIERS CAN BE INSTALLED BETWEEN THE TREES AND THE FOUNDATION.
 MOISTURE CONDITIONS SHALL BE MAINTAINED "CONSTANT" AROUND THE EDGE OF THE SLABS. FONDING OF WATER IN PLANTERS, IN UNPAVED AREAS AND AROUND JOINTS, IN PAVING AND SIDEWALKS CAN CAUSE SLAB MOVEMENTS BEYOND THOSE PREDICTED.
 ROOF DRAINS SHALL BE MAINTAINED OR BE EXTENDED AWAY FROM THE STRUCTURES. IDEALLY, ROOF DRAINS SHALL DISCHARGE TO STORM SEWERS BY CLOSED PIPE.

CONCRETE NOTES:
 ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH 1" MINIMUM AGGREGATE SIZE A MAXIMUM SLUMP OF 4", AND HAVE 3-5% AIR ENTRAINMENT.
 ALL CONCRETE SHALL BE NORMAL WEIGHT, TRANSFER MIXED CONCRETE CONFORMING TO ACI 318, ACI 301, AND ASTM C94, LATEST EDITIONS.
 ALL CONCRETE SLAB CONSTRUCTION AND CURING SHALL CONFORM TO GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION, ACI 302.1 R-04.
 CONCRETE WATER CONTENT AND QUALITY SHOULD BE CONTROLLED IN ACCORDANCE WITH ACI BUILDING CODE REQUIREMENTS.

REINFORCEMENT NOTES:
 ALL CONVENTIONAL REINFORCING BARS (REBAR) SHALL CONFORM TO ASTM A615. REBAR SHALL BE GRADE 60.
 EXERCISE CARE IN PLACING CONCRETE TO ENSURE THAT REBAR LOCATIONS ARE MAINTAINED.
 USE CONTINUOUS STEEL IN WALLS AS MUCH AS POSSIBLE. OTHERWISE, TOP BARS SHALL BE SPLICED AT CENTER SPAN AND BOTTOM BARS OVER THE SUPPORTS. MINIMUM SPICE TO BE 3x BAR DIAMETERS. CONSTRUCTION JOINTS IN BEAMS AND SUPPORTED SLAB SHALL BE MADE AT QUARTER SPAN.
 REBAR USED FOR REINFORCEMENT OF FOUNDATION MUST BE A MIN. OF 3" FROM SOIL AND 1 1/2" FROM CONTACT WITH AIR EXCEPT IN SLAB WHERE IT IS CENTERED.

CONSTRUCTION NOTES:
 OF THE FINAL GRADING, ALL BEAMS SHALL HAVE 18" MINIMUM SOIL COVERAGE. THERE SHOULD BE A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB OR BRICK LEDGE AND SOIL SURFACE.
 IF SOIL ROCK IS ENCOUNTERED DURING BEAM EXCAVATIONS, THE BEAM DEPTH CAN BE DECREASED TO MINIMUM DEPTH OF 12 INCHES.
 PLACE A 6 MIL POLYETHYLENE VAPOR BARRIER IN THE BEAM TRENCHES. DO NOT ALLOW THE POLY TO EXTEND ACROSS THE BEAM BOTTOMS.
 PLUMBING FLASHING SHALL BE PLACED BETWEEN THE BEAM AND THE SLAB. THE FLASHING SHALL BE PLACED BETWEEN THE BEAM AND THE SLAB.
 ALL PLUMBING AND ELECTRICAL LINES PASSING UNDER THE FOUNDATION SHOULD BE SEALED WITH CONCRETE OR TIGHTLY PACKED CLAY TO PREVENT A CHANNEL FOR MOISTURE MIGRATION UNDER THE SLAB WHICH CAN CAUSE LOCALIZED SWELLING OF THE SOIL.
 ALL LEAVE-OUTS AND SLAB PENETRATIONS SHALL BE PROPERLY WRAPPED IN ACCORDANCE WITH ACI STANDARDS.
 PROVIDE A MINIMUM OF 2" CLEARANCE BETWEEN STRANDS AND CONCRETE EDGES AT CORNERS, BAYS AND BLOCCOUTS.
 TO MINIMIZE CRACKING DUE TO SHRINKAGE, PARTIAL STRESSING TO 30% OF TOTAL REQUIRED STRESS IS RECOMMENDED 24 TO 36 HOURS AFTER POURING. APPLY POST TENSION LOAD TO CABLE WITHIN 7 TO 10 DAYS OF THE POUR AND AT A MINIMUM COMPRESSION STRENGTH OF CONCRETE OF 2,000 PSI.

BEAM NOTES:
 CONCRETE COVER FROM BOTTOM OF BEAM TO REINFORCING STEEL TO BE 3"
 MIN. BEAM PENETRATION BELOW FINISHED GRADE TO BE 12"
 ALL BEAM BEAMS MUST EXTEND AT LEAST
 ANCHORAGES FOR THE OFFICIAL FROST LINE DEPTH.

REFERENCES & LIMITATIONS:
 ALL MODIFICATIONS OR CHANGES SHALL BE IN WRITING. DEVIATIONS ARE PERMITTED, ANY CHANGES OR ANY DEVIATIONS TO THIS PLAN CONSTITUTE A BREACH OF THIS PLAN AND RENDER VOID THE ENGINEER'S CERTIFICATION AS WELL AS ALL EXPRESSED OR IMPLIED LIABILITY OR WARRANTY OF THIS DESIGN. RES ENTERTAINERS, LP LIABILITY FOR THIS DESIGN IS LIMITED TO \$500. USE OF THIS PART OF THIS DESIGN INDICATES ACCEPTANCE OF ALL OF THE REQUIREMENTS. THE WARRANTY OF THIS DESIGN IS LIMITED TO THIS PLAN AND DOES NOT INCLUDE WHAT MAY NOT BE INSTALLED AT CONSTRUCTION. PLEASE CONTACT US IF YOU HAVE QUESTIONS ABOUT THIS DESIGN OR THE SPECIFICATIONS OF ITS USE. WE EXPRESSLY DENY ANY WARRANTY THAT THIS DESIGN WILL SATISFY THE PARTICULAR DESIRES OF A PARTICULAR CUSTOMER.

REBAR SLAB FOUNDATION - CONSTRUCTION NOTES

PROJECT:
 UNITED BUILT HOMES
 JONES
 120 HIDDEN SHORES
 CISCO, TEXAS 76434

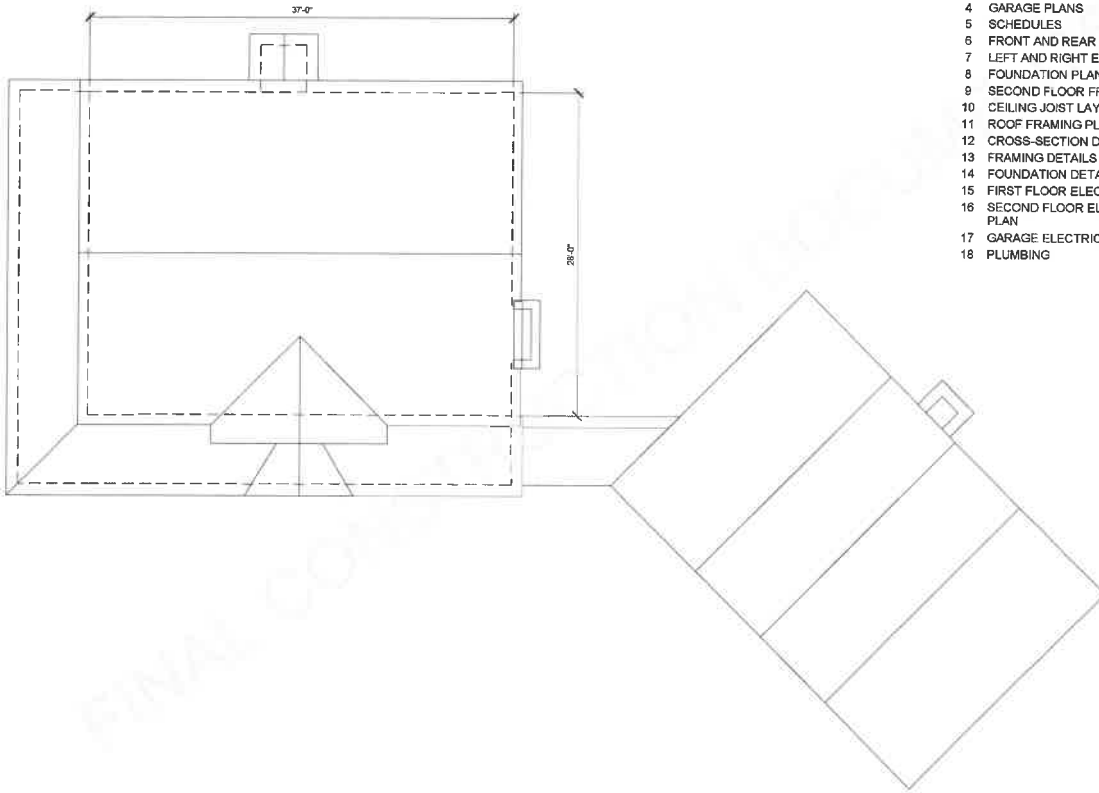


Engineering & Inspection Services
 400 N. Allen Dr., Suite #245
 Allen, Texas 75013
 18723 727-8572
 www.rcsenterprises.net

ISSUE DATE: 1/10/2019
 DRAWN BY: BW
 SCALE: N.T.S. 1/117
 SCALE: N.T.S. 2/436
 SHEET NUMBER:
S1.3

0709-1803-24
 Montgomery
 2019.11.06
 REGISTERED PROFESSIONAL ENGINEER
 ENGINEER STATE OF TEXAS - NO. 00477
 P. F. 0071

PLOT PLAN
SCALE: 1/8" = 1'-0"



SHEET INDEX

- 1 PLOT PLAN
- 2 FLOOR PLAN
- 3 SECOND FLOOR PLAN
- 4 GARAGE PLANS
- 5 SCHEDULES
- 6 FRONT AND REAR ELEVATIONS
- 7 LEFT AND RIGHT ELEVATIONS
- 8 FOUNDATION PLAN
- 9 SECOND FLOOR FRAMING
- 10 CEILING JOIST LAYOUT
- 11 ROOF FRAMING PLAN
- 12 CROSS-SECTION DETAILS
- 13 FRAMING DETAILS
- 14 FOUNDATION DETAILS
- 15 FIRST FLOOR ELECTRICAL PLAN
- 16 SECOND FLOOR ELECTRICAL PLAN
- 17 GARAGE ELECTRICAL PLAN
- 18 PLUMBING

REVISIONS

NO.	ISSUED BY	DESCRIPTION	DATE
0	ITRAPP	STONE MANOR	12/30/2019

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PLOT PLAN

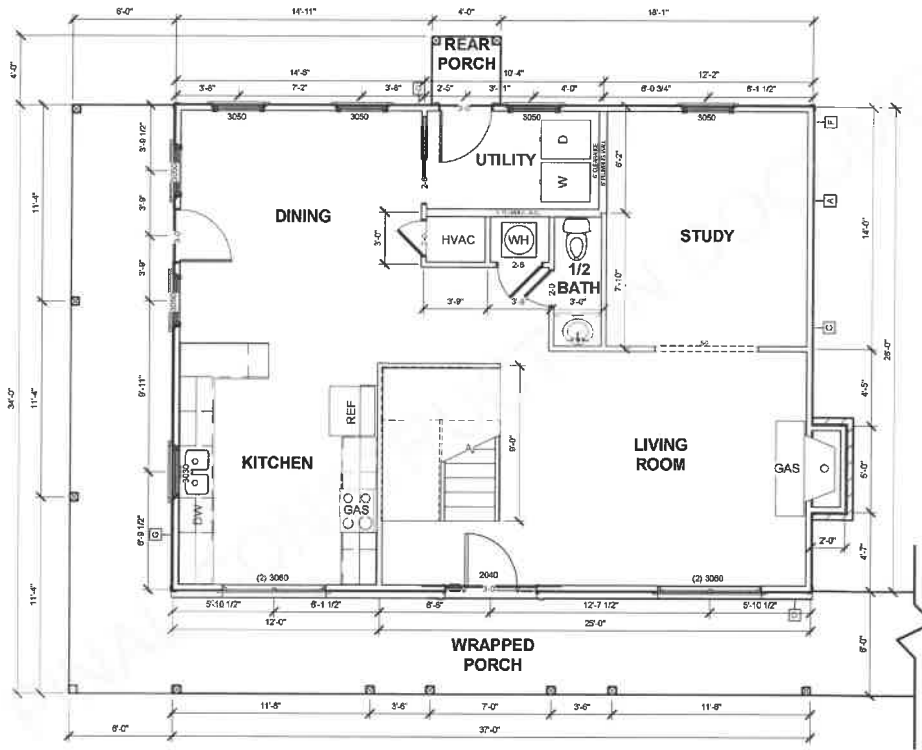
SCALE: 1/8" = 1'-0"
DATE: 12/30/2019
APP. NO.: 25004807
DRAWN BY: OTCREAR
SHEET NO.: 1 of 18
JOB: 32-438115812752.swp -481-8923019409

HOUSE PLANS FOR

JONES

UBH UNITED BUILT HOMES

NOTE: WIRE FOR PENDANT LIGHTS ABOVE ISLAND
 LP GAS OUTLET FOR FIREPLACE AND RANGE
 MASTER BATH TILE SURROUND KIT
 MASTER BATH SHOWER SWING DOOR
 FIREPLACE STONE FINISH W/ 42" INSERT
 WIRE FOR FANS ONLY



NOTE 9' PLATE THROUGHOUT

ELECTRICAL PLUMBING LOCATIONS	
A	AC OVERHEAD ENTRY POINT
B	WIRE TRAY COVER
C	WATER HEATER SUPPLY OF THE FLOOR
D	WATER SUPPLY TO THE 1/2
E	ELECTRIC METER
F	ELECTRIC SERVICE PANEL
G	WATER SERVICE
H	WATER SERVICE
I	WATER SERVICE

FLOOR PLAN

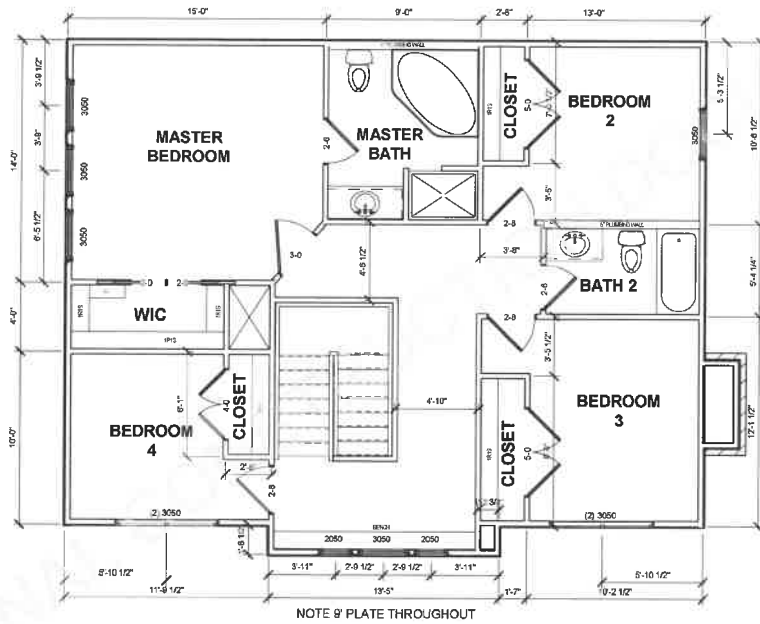
SCALE: 3/16" = 1'-0"

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UBH UNITED BUILT HOMES	
HOUSE PLANS FOR JONES	
FLOOR PLAN	
SCALE: As indicated	DATE: 12/30/2019
ACT. NO.: 25004907	ADDRESS: 138 HIDDEN BROOKS CIRCLE, TX 75427 RD
DRAWN BY: O'REAR	DATE: 12/30/2019
SHEET NO.: 2 of 18	PROJECT NO.: 86-89230194-09

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



NOTE 8 PLATE THROUGHOUT

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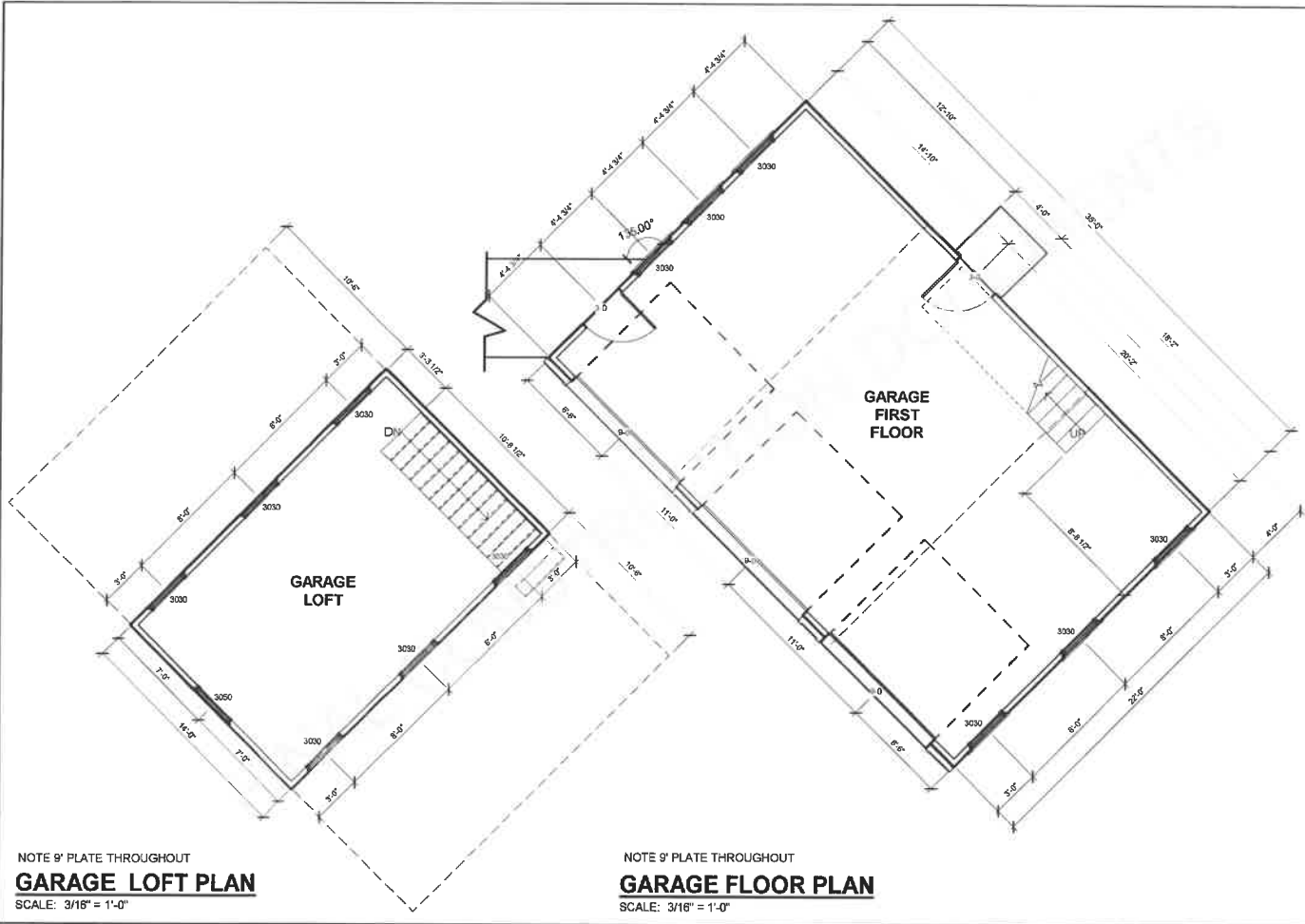
SECOND FLOOR PLAN

DATE: 12/30/2019
 ACT. NO.: 25504807

OWNER: O'REAR
 SHEET NO.: 3 of 18

HOUSE PLANS FOR JONES





NOTE 9" PLATE THROUGHOUT
GARAGE LOFT PLAN
 SCALE: 3/16" = 1'-0"

NOTE 9" PLATE THROUGHOUT
GARAGE FLOOR PLAN
 SCALE: 3/16" = 1'-0"

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GARAGE PLANS

HOUSE PLANS FOR

JONES



SCALE: 3/16" = 1'-0"

DATE: 12/30/2019

ACT. NO.: 250041907

DRAWN BY: O'REAR

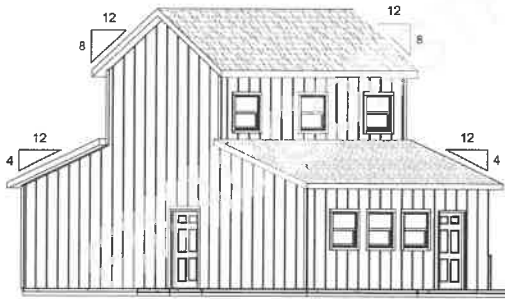
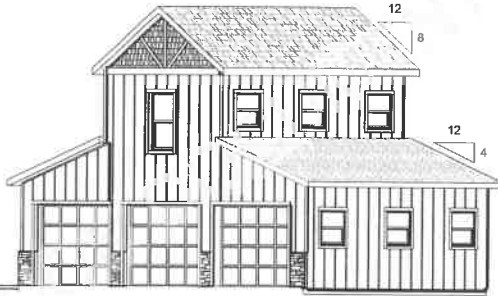
SHEET NO.: 4 of 18

ADDRESS: 10800N WINDY CREEK, TX 75147-0100
 TEL: 32.438.1551 / 2752 FAX: 96.9923019409



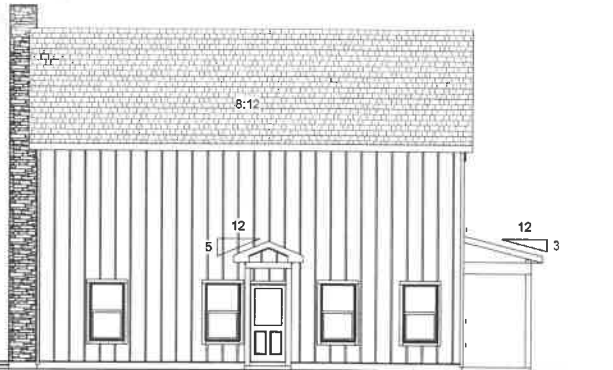
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



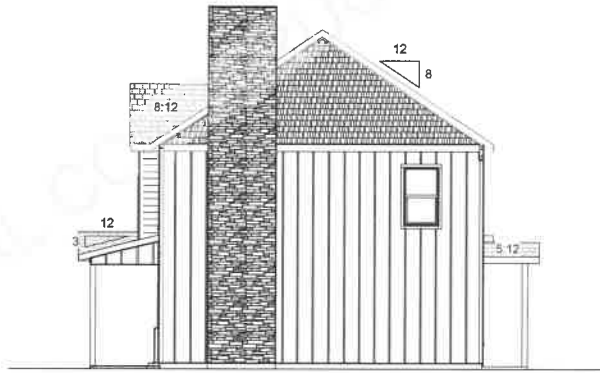
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HOUSE PLANS FOR JONES	
FRONT AND REAR ELEVATIONS	<small>ADDITIONAL TO HOUSE NUMBER CDS03, TP PLAN 03</small> <small>DATE: 12/30/2019</small> <small>ACT. NO.: 25004907</small> <small>OWNER: C. O'REAR</small> <small>SHEET NO.: 6 of 18</small>



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

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UBH UNITED BUILT HOMES

HOUSE PLANS FOR
JONES

LEFT AND RIGHT
ELEVATIONS

SCALE: 1/8" = 1'-0"

DATE: 12/30/2019

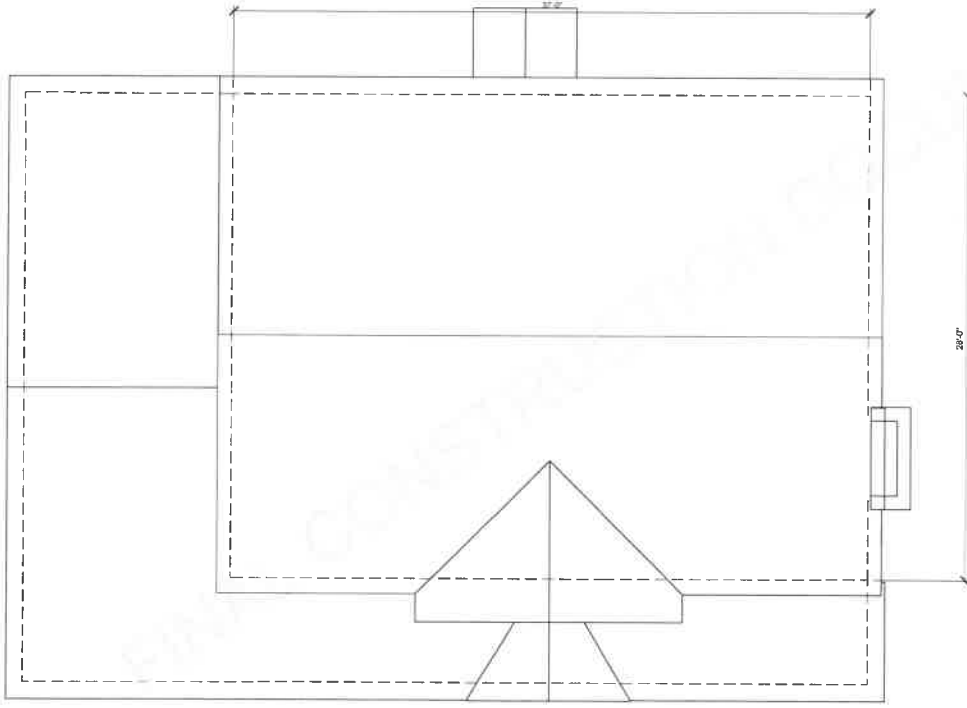
ACT. NO.: 259041807

DRAWN BY: O'REAR

SHEET NO.: 7 of 18

ADDRESS: 133 HIDDEN SPRING CIRCLE, TX 75147 BR

LOT: 32.43815812752, area: 96.9923019408



SHEET INDEX

- 1 PLOT PLAN
- 2 FLOOR PLAN
- 3 SECOND FLOOR PLAN
- 3B SCHEDULES
- 4 FRONT AND REAR ELEVATIONS
- 5 LEFT AND RIGHT ELEVATIONS
- 6 FOUNDATION PLAN
- 7 SECOND FLOOR FRAMING
- 8 CEILING JOIST LAYOUT
- 9 ROOF FRAMING PLAN
- 10 CROSS-SECTION DETAILS
- 11 FRAMING DETAILS
- 12 FOUNDATION DETAILS
- 13 ELECTRICAL PLANS
- 14 PLUMBING

REVISIONS

NO.	ISSUED BY	DESCRIPTION	DATE
1	TRAPP	CHANGE AT CLOSING	11/25/2019
4	TRAPP	FINAL SET	11/25/2019

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PLOT PLAN

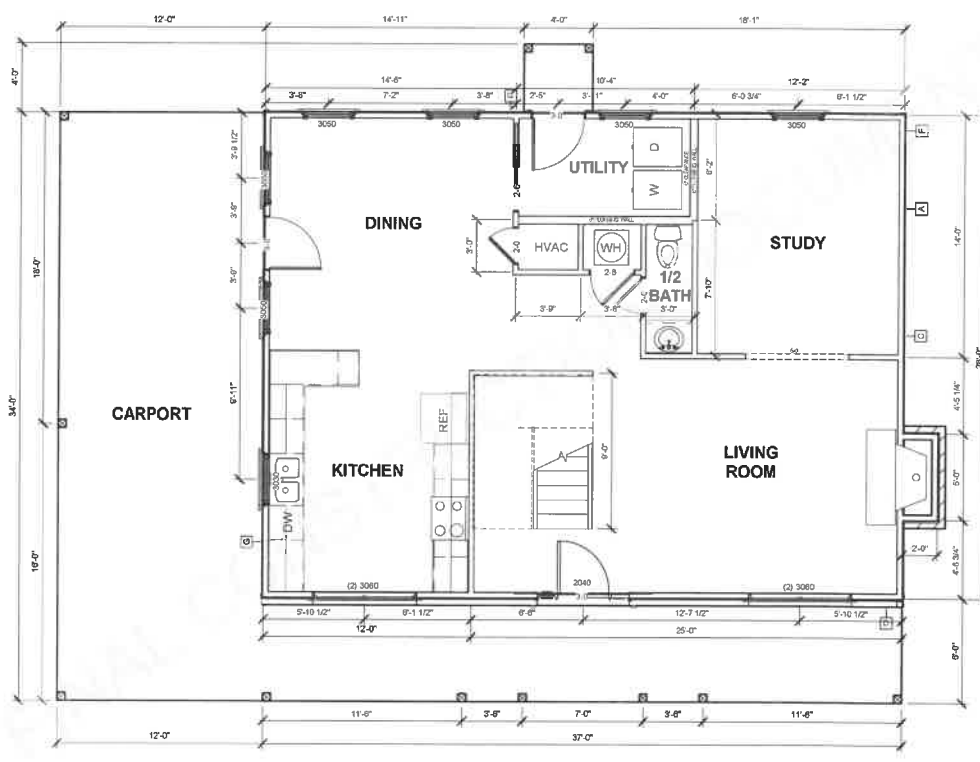
SCALE:	3/16" = 1'-0"
DATE:	11/05/2019
ACT. NO.:	25004907
DRAWN BY:	B. TRAPP
SHEET NO.:	1 of 14

HOUSE PLANS FOR

JONES



PLOT PLAN
SCALE: 3/16" = 1'-0"



NOTE 9" PLATE THROUGHOUT

LEGEND (NOT TO SCALE)	
1	ACCOMMODATION BY THE BUILDER
2	TO BE PROVIDED BY THE OWNER
3	WATER CLOSET
4	WATER CLOSET
5	WATER CLOSET
6	WATER CLOSET
7	WATER CLOSET
8	WATER CLOSET
9	WATER CLOSET
10	WATER CLOSET
11	WATER CLOSET
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46	WATER CLOSET
47	WATER CLOSET
48	WATER CLOSET
49	WATER CLOSET
50	WATER CLOSET

FLOOR PLAN
SCALE: 3/16" = 1'-0"

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HOUSE PLANS FOR	
JONES	
UBH UNITED HOMES	
FLOOR PLAN	
SCALE: As indicated	DATE: 11/6/2019
ACT. NO.: 25004907	ADDRESS: 130 MODERN HOMES CIRCU, TX 75417 (H)
DRAWN BY: B. TRAPP	SHEET NO.: 2 of 14
PH: 32.43816612792 Fax: 98.9623019409	

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HOUSE PLANS FOR
JONES

SCHEDULES

SCALE: _____
 DATE: 11/6/2019
 ACCT. NO.: 25004907
 DRAWING: B-TS-APP
 PROJECT NO.: 38 of 14
 PLAN: 32-43815612792 (see -38-9923019409)

BUILDING AREA

NAME	AREA
FIRST FLOOR	1046 SF
FRONT PORCH	222 SF
CARPORT	409 SF
REAR PORCH	16 SF
SECOND FLOOR	1059 SF
	2751 SF

WINDOW SCHEDULE

TAG	Operation	FINISH	GRID	QTY
(2)3050	Double Single Hung	Vinyl, White	No	2
(2)3060	Double Single Hung	Vinyl, White	No	2
2040	FIXED			1
2050	Single Hung	Vinyl, White	No	3
3030	Single Hung	Vinyl, White	No	1
3050	Single Hung	Vinyl, White	No	9

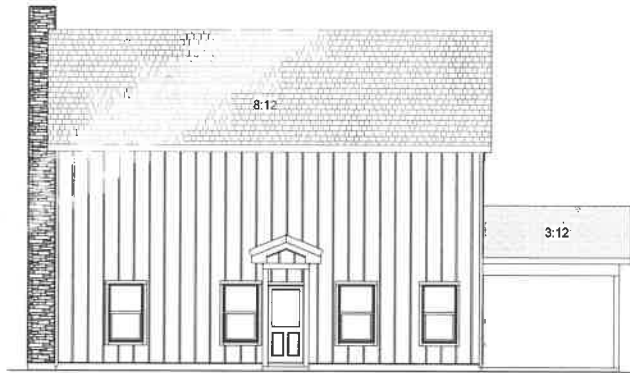
EXTERIOR DOOR SCHEDULE

TYPE	LOCATIONS	GRID	HAND	QTY
36" x 80" 3/4ths Glass Swing Door With Sidelites	ENTRY		RH	1
36" x 80" Single Panel Swing Door	CARPORT DOOR			1
36" x 80" Single Half Glass	UTILITY DOOR	No		1



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

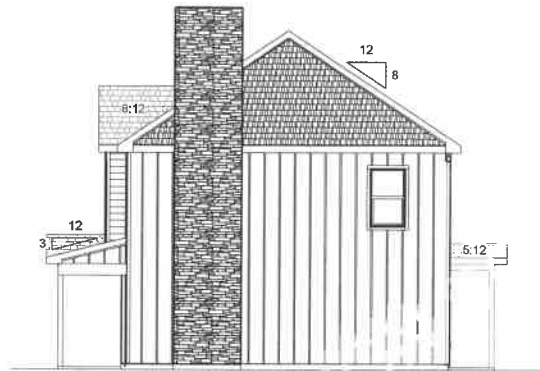


REAR ELEVATION

SCALE: 1/8" = 1'-0"

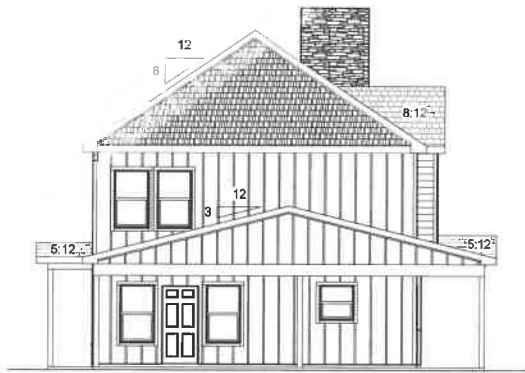
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UBH UNITED BUILT HOMES	
HOUSE PLANS FOR JONES	
FRONT AND REAR ELEVATIONS	
SCALE: 1/8" = 1'-0" DATE: 11/6/2018 ACT. NO.: 25004807 DRAWN BY: B. TRAPP PROJECT NO.: 4 of 14	ADDRESS: 181 HIDDEN BROOKS CIRCLE, TN 37027-0101 PH: 324.4381 5612792, fax: 98.9923019409



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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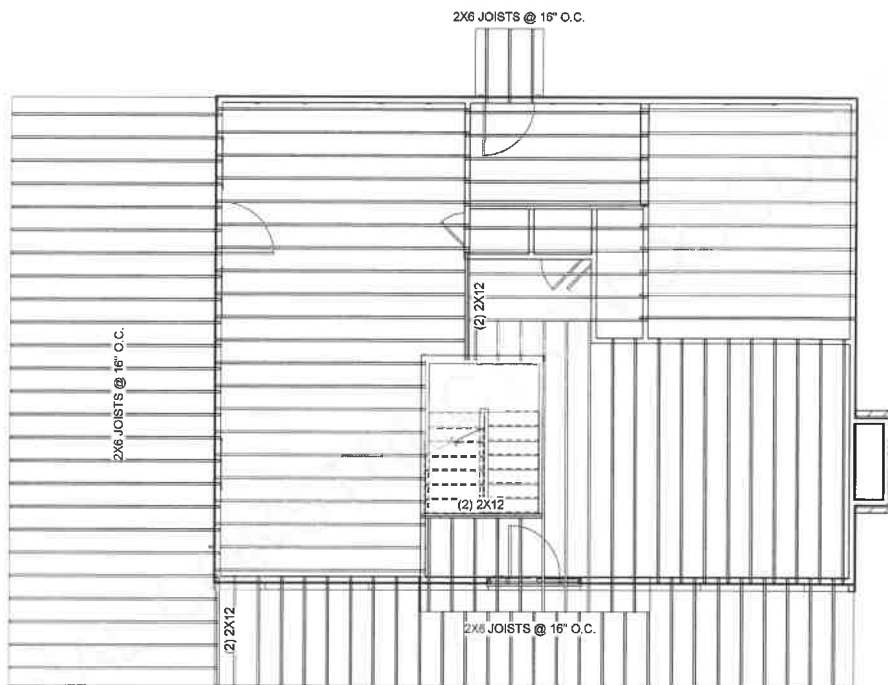
**HOUSE PLANS FOR
JONES**

**LEFT AND RIGHT
ELEVATIONS**

SCALE: 1/8" = 1'-0"
 DATE: 11/6/2018
 AUT. NO.: 25004907
 DRAWN BY: B. TRAPP
 SHEET NO.: 5 of 14
 PROJECT: 19 HIDDEN RIDGE CIRCLE, TX 76037, TX
 INT. 32_43815612792, 0000 - 98 8923019409

SECOND FLOOR FRAMING

SCALE: 3/16" = 1'-0"



ALL SECOND FLOOR FRAMING TO BE 2X12s @ 16" O.C.

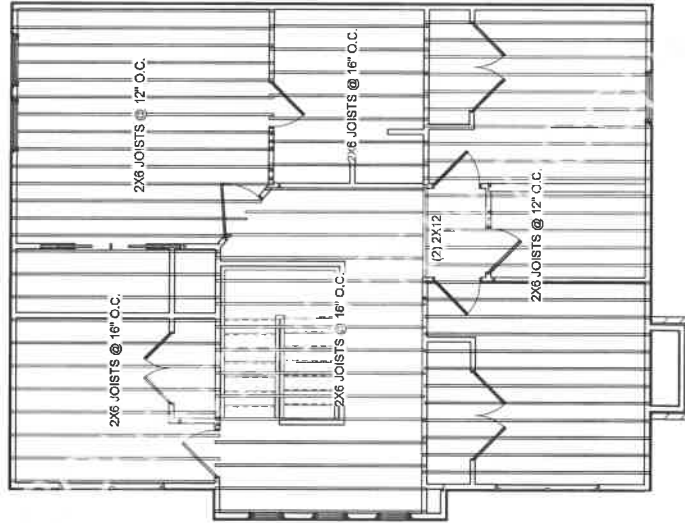
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SCALE: 3/16" = 1'-0"	SECOND FLOOR FRAMING
DATE: 11/6/2019	
ACCT. NO.: 25904807	
DESIGNED BY: B. TRAPP	
DRAWN BY: B. TRAPP	ADDRESS: 115 WINDYBROOK DR., WYATT, TX 75487 PHONE: 936.561.2792 FAX: 936.561.2793 WWW: www.ubhomes.com
PROJECT NO.: 7 of 14	UNITED BUILT UBH HOMES

HOUSE PLANS FOR
JONES

UBH UNITED BUILT
HOMES

CEILING JOISTS LAYOUT
SCALE: 3/16" = 1'-0"



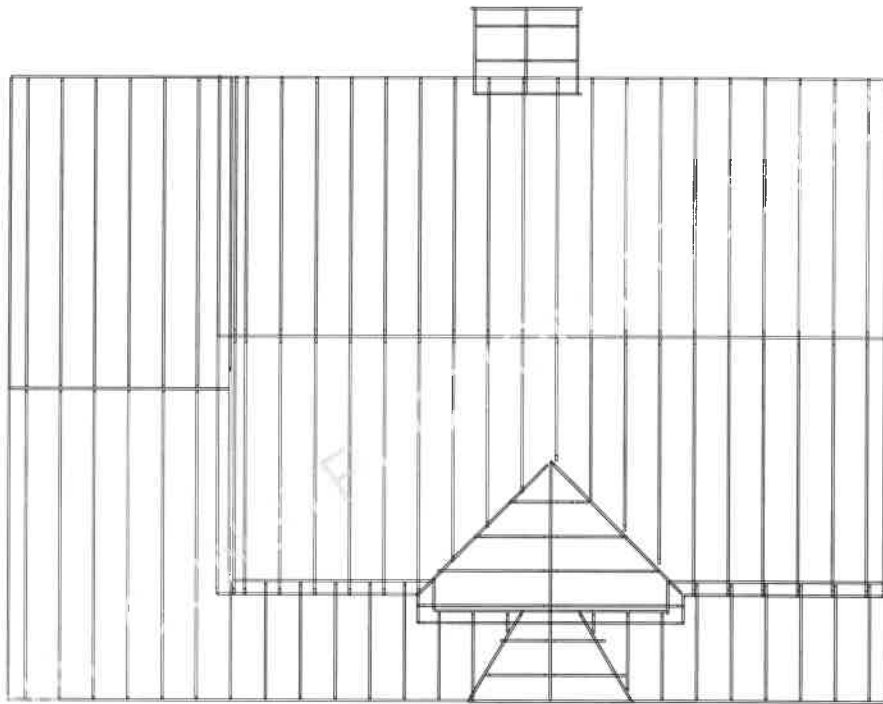
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DATE:	3/16" = 1'-0"
DATE:	11/6/2019
ACCT. NO.:	25004407
DRAWN BY:	B. TRAPP
PROJECT NO.:	8 of 14
UBH PROJECT NO.:	32-43815612792 (see -98-9923019409)

HOUSE PLANS FOR
JONES



ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



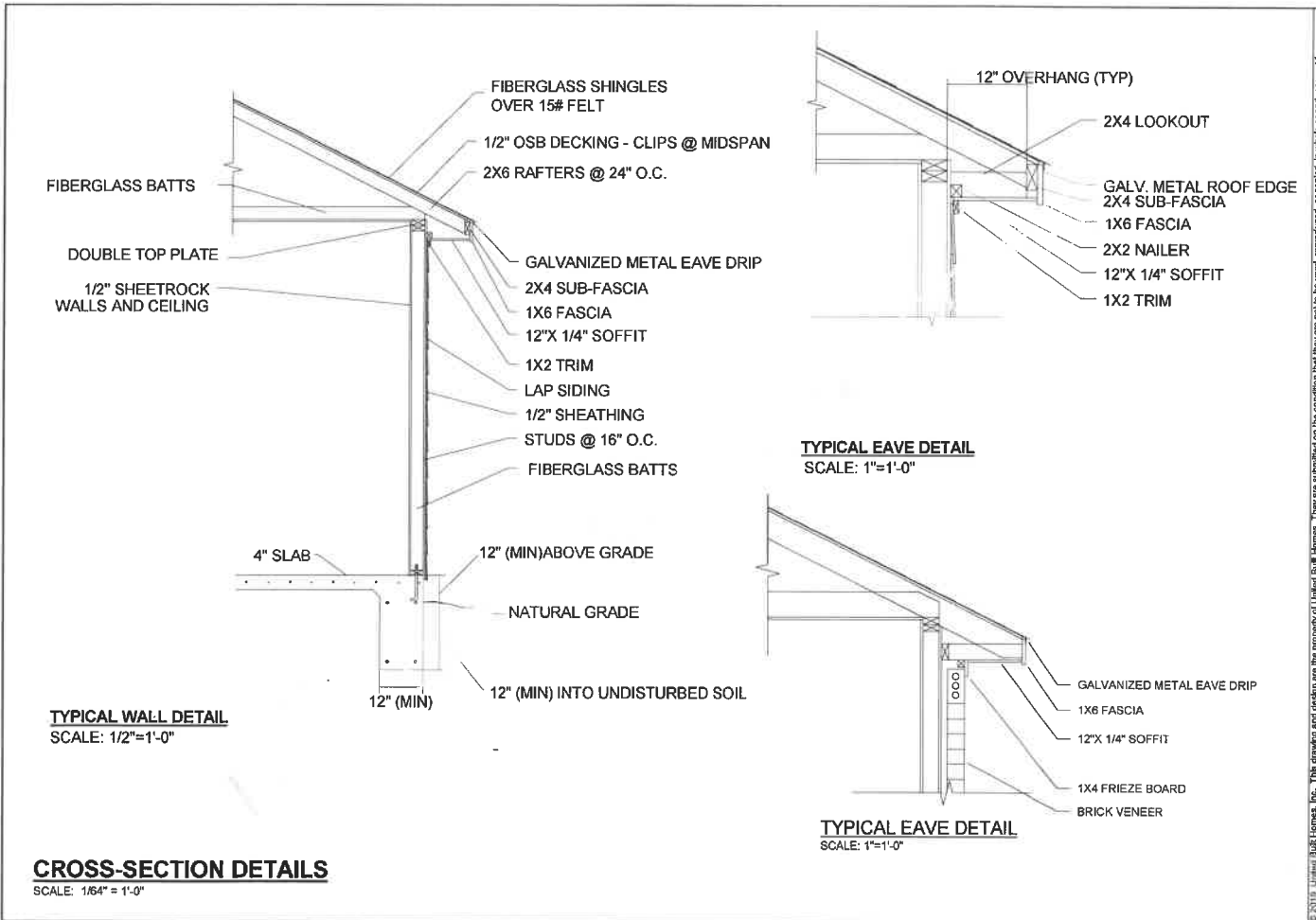
2X8 RAFTERS @ 24" O.C. THROUGHOUT
2X8 HIP, VALLEY AND RIDGE BOARDS

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SCALE: 3/16" = 1'-0"	ROOF FRAMING PLAN
DATE: 11/16/2019	ADMITTED FOR RECORD: BUREAU OF ARCHITECTURE, TEXAS
ACT. NO.: 25004907	PROJECT NO.: 32-43815812792
DRAWN BY: B. TRAPP	DATE: 11/16/2019
CHECKED BY: J. TRAPP	PROJECT NO.: 32-43815812792

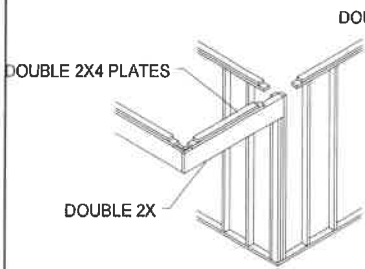
HOUSE PLANS FOR
JONES

UBH UNITED BUILT HOMES

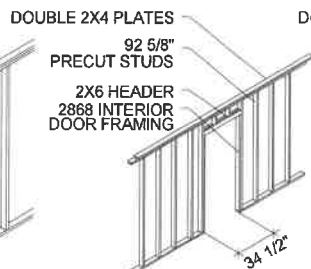


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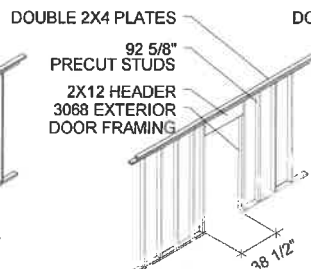
UBH UNITED BUILT HOMES	
HOUSE PLANS FOR JONES	
CROSS-SECTION DETAILS	
SCALE: 1/64" = 1'-0"	DATE: 11/6/2019
ACT. NO.: 25904807	DESIGNED BY: B. TRAPP
ADDRESS: 10000 WOODBINE DRIVE, TAMPA, FL 33617	
PHONE: 813.942.1414	



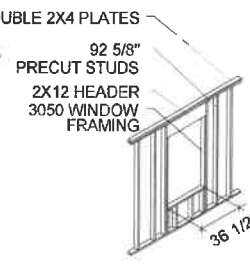
PORCH BEAM DETAIL



TYPICAL INTERIOR DOOR



TYPICAL EXTERIOR DOOR

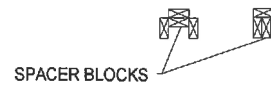


TYPICAL WINDOW



TYPICAL WALL TIE

NOTE: LAP PLATES AT ALL CORNERS AND JOINING PETITION WALLS.



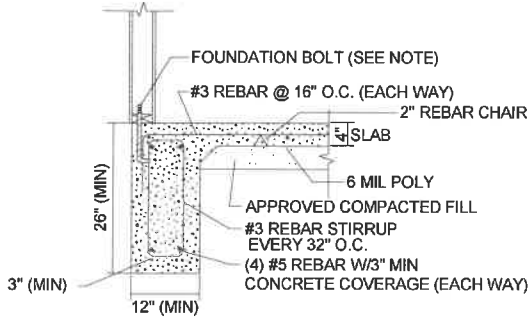
FRAMING DETAILS

SCALE: 1/8" = 1'-0"

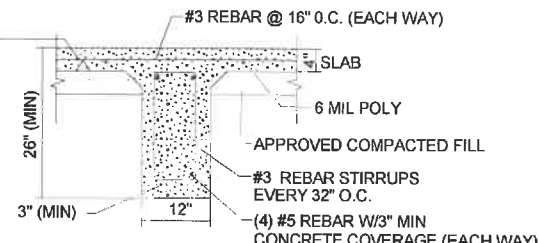
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UBH UNITED BUILT HOMES	
HOUSE PLANS FOR JONES	
FRAMING DETAILS	
SCALE: 1/8" = 1'-0"	DATE: 11/6/2019
ART. NO: 25004807	ADDRESS: 100 WOODEN WOODS CIRCLE, TX 75437 (R)
DESIGNED BY: B. TRAPP	DATE: 11/6/2019
DRAWING NO: 11	REV: 14

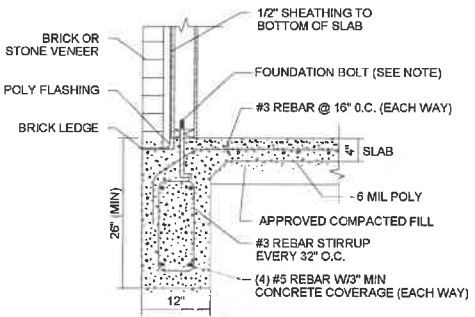
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EXTERIOR BEAM (SIDING)
SCALE: 3/4"=1'-0"



INTERIOR BEAM
SCALE: 3/4"=1'-0"



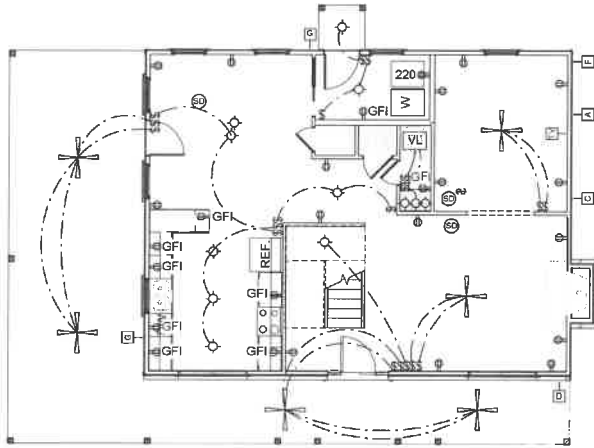
EXTERIOR BEAM (BRICK OR STONE)
SCALE: 3/4"=1'-0"



BEAM INTERSECTION DETAIL

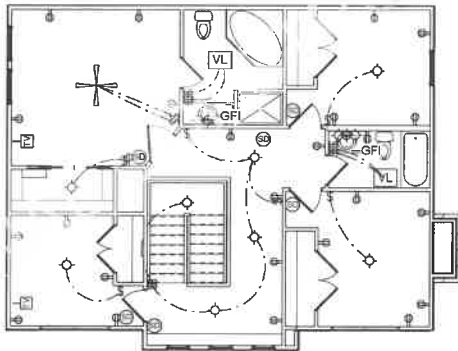
****FOUNDATION BOLTS:**
LOCATED IN ALL PERIMETER WALL SOLE PLATES, MADE OF 1/2" (MIN) GALVANIZED STEEL J-BOLTS > 10" IN TOTAL BOLT LENGTH > 7" IMBEDDED IN THE CONCRETE, SPACED < 6'-0" APART, WITH 2 (MIN) IN EVERY PLATE SECTION, LOCATED IN THE MIDDLE OF THE PLATE AND NO FURTHER THAN 12" AND NO CLOSER THE 7 BOLT DIAMETERS 3 1/2" (MIN) TO EVERY PLATE END, FASTENED WITH A WASHER AND NUT. (REF. 2015: IRC R403.1.6 & FIGURE R403.1.6)

FOUNDATION DETAILS
SCALE: 1/64" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

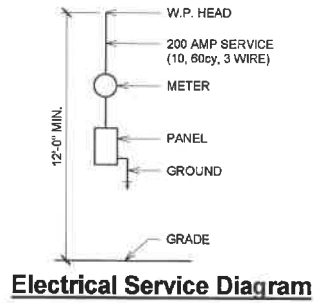
SCALE: 1/8" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

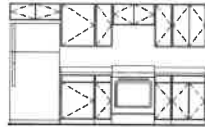
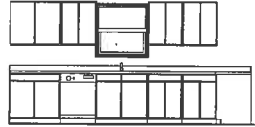
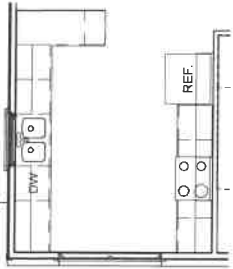
ELECTRICAL LEGEND	
⊗	SWITCH
◇	LIGHT
⊕	RECESSED LIGHT
⊙	EXT WALL LIGHT
○	110V OUTLET
⊕	220V OUTLET
⊕	110V GFI OUTLET
⊕	110V WP OUTLET
⊕	SMOKE DETECTOR
⊕	STRIP WALL LIGHT
VL	VENT/LIGHT
TV	TV OUTLET



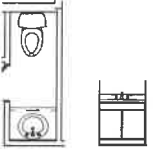
Electrical Service Diagram

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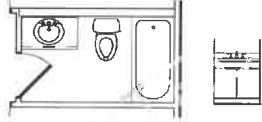
HOUSE PLANS FOR JONES	UBH UNITED BUILT HOMES
DATE: 11/6/2018 ACCT NO.: 25004907 DRAWN BY: B. TRAPP SHEET NO.: 13 of 14	ADDRESS: 13 MOORE BROTHERS DRIVE, TX 75137 #11 TEL: 32.485.1561/2792, FAX: 32.485.1561/19409



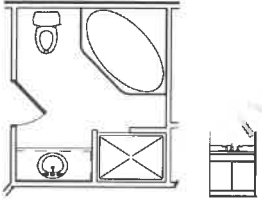
KITCHEN
SCALE: 3/16" = 1'-0"



1/2 BATH
SCALE: 3/16" = 1'-0"



BATH 2
SCALE: 3/16" = 1'-0"



MASTER BATH
SCALE: 3/16" = 1'-0"

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PLUMBING

SCALE: 3/16" = 1'-0"
DATE: 11/6/2019
ACCT. NO.: 250004907
DRAWN BY: B. TRAPP
REV. NO.: 14 of 14
UN: 32,49815612792 (use: 381.9923019409)

HOUSE PLANS FOR

JONES

